

**Tick box A to C below, as appropriate :**

- ☐ **A** Application is for a Project Information Memorandum (PIM)  
☐ **B** Application is for Building Consent (BC) only, in accordance with PIM No : .....  
☒ **C** Application is for Building Consent (BC) and Project Information Memorandum (PIM)

**7 Confidentiality (Plans and Specifications):**

I/We require the following to be treated as confidential (proof of reasons for confidentiality will be required and will only be accepted if legally valid)

- ☐ Plans (please specify which plans i.e. Floor Plans etc.): .....  
☐ Specifications  
☐ I/We require that all details of this application remain confidential as required by a Council directive applied for, or already issued, in relation to a protection order currently in force under The Domestic Violence Act 1995.

**8 Vehicle Crossing Required**

Is this application linked to a vehicle crossing application?

~~YES~~/NO If 'YES', Application No : .....

(If 'YES' please include Vehicle Crossing Application)

**9 Public Utility Connections Required**

Is this application subject to a utility connection application? (Drainage, Water Connection or Water Meter Installation)

☐ YES - Application No: .....

☒ NO - Existing connections in place

**10 Historic Places Trust**

- ☐ The property is a registered historic place, historic area or wāhi tapu area  
☐ A PIM has already been issued for this project - PIM No : .....

If your property has an archaeological or historic site, you need to consult with the Historic Places Trust in regards to your project for review and approval prior to your project commencing

**11 Fire Service Design Unit (3 copies - 4 where fire report required, 1 set to be A3)**

Section 47 of The Building Act 2004, requires certain projects as specified by notice in the NZ Gazette to be reviewed by the New Zealand Fire Service, which may require a Memorandum, setting out advice on issues such as 'means of escape from fire' and 'water supply for fire fighting'.

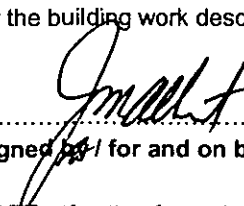
**12 Compliance Schedule (where applicable - Complete Part E)**

A Compliance Schedule is required for buildings with specified systems. This does **NOT** apply to single storey, residential property apart from when serviced by a cable car (lift).

I request that you issue a (please tick):

- ☒ Project Information Memorandum  
☒ Building Consent

for the building work described in this application

Signed  for and on behalf of / the owner

**NOTE :** If acting for and on behalf of, please read the following declaration prior to signing :

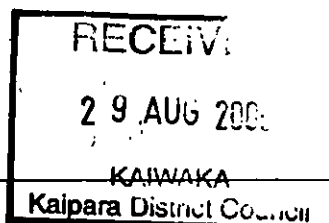
"I hereby declare that I am authorised to act as Agent of the Applicant"

Signature :  Name : JOHN ALBERT

Date : 20/6/05

**Please Note :**

Council is unable to accept your application as being lodged until all details and relevant information are provided and the application is signed and the processing fee paid. Fees for your application will be assessed by the Customer Services Section on application. Further fees may be incurred after the Building Consent is issued.



KAIPARA DISTRICT COUNCIL

BC 050754

**PIM AND BUILDING CONSENT APPLICATION**  
(The Building Act 2004)

<b>APPLICANT DETAILS:</b>		<b>BC NO:</b>																															
<b>1 The Owner</b> Name of Owner: <u>MOODIE, JOHN &amp; MICHELLE</u> Contact Person: <u>MICHELLE</u> Postal Address: <u>37 RANFURLY ST DARGAVILLE</u> Street Address/Registered Office: _____ Phone No: <u>439 4606</u> Fax No: _____ Mobile No: _____ Email: _____ The following evidence of ownership is attached to this application: (If property has been recently sold a copy of Sale and Purchase Agreement is required) <u>Certificate of Title</u>		<b>2 The Agent</b> Name of Agent: <u>IDEAL BUILDINGS</u> Contact Person: <u>JOHN ALBERT</u> Postal Address: <u>P.O. Box 47 MAUNGATUAOTO</u> Street Address/Registered Office: _____ Phone No: <u>09 431 8232</u> Fax No: <u>09 431 8292</u> Mobile No: <u>0275 383 553</u> Email: <u>albertbuildings@clear.net.nz</u> Relationship to Owner: <u>AGENT</u> First Point of Contact for Communications/Fees/Refunds to: <input type="checkbox"/> The Owner <input checked="" type="checkbox"/> The Agent																															
<b>3 THE PROJECT (What is the work to be done)</b> Description of the building work: <u>ONE CAR GARAGE / WORKSHOP</u> Will the work result in a change of use of the building: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If YES please state new use and provide details: _____ List Building Consents previously issued for this project (if any): _____ Floor area (proposed work - square metres) <table border="1"> <thead> <tr> <th></th> <th>Basement</th> <th>Ground Floor</th> <th>Other Floors</th> <th>Total</th> </tr> </thead> <tbody> <tr> <td>Main Building</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>Accessory</td> <td></td> <td><u>36</u></td> <td></td> <td><u>36</u></td> </tr> <tr> <td>Buildings</td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>			Basement	Ground Floor	Other Floors	Total	Main Building					Accessory		<u>36</u>		<u>36</u>	Buildings					<b>4 BUILDING DETAILS: (Where work to be done)</b> Street Address of Building: <u>37 RANFURLY ST, DARGAVILLE</u> Location of Building within site/block number (include nearest street access): _____ Building Name: <u>GARAGE</u> Number of Levels: <u>one</u> Level/Unit No: _____ Valuation Roll No: <u>009509801</u> Legal Description: <u>LOT 3 DP 36778</u> Certificate of Title No: <u>NA 1069/12</u> Area of Site (m <sup>2</sup> /ha): <u>1014 m<sup>2</sup></u> Current, lawfully established use (if applicable): <u>DWELLING</u> Year first constructed (if applicable): _____											
	Basement	Ground Floor	Other Floors	Total																													
Main Building																																	
Accessory		<u>36</u>		<u>36</u>																													
Buildings																																	
<b>5 NATURE OF CONSENT</b> <input type="checkbox"/> New building - exclude domestic garages & domestic outbuildings <input type="checkbox"/> Foundations only <input type="checkbox"/> Alterations, repairs, extensions, conversions, resiting, installation of heating appliances <input checked="" type="checkbox"/> Domestic garages and domestic outbuildings Intended Life: Indefinite, but not less than 50 yrs <input checked="" type="checkbox"/> OR Specified as _____ yrs Demolition <input type="checkbox"/> Being stage _____ of an intended _____ stages		<b>6 VALUE OF WORK AND FEES (GST Incl)</b> <table border="1"> <tbody> <tr> <td>Main buildings</td> <td>\$</td> <td></td> </tr> <tr> <td>Accessory buildings</td> <td>\$</td> <td><u>12000</u></td> </tr> <tr> <td>Plumbing &amp; Drainage</td> <td>\$</td> <td></td> </tr> <tr> <td><b>Total Value of Work</b></td> <td>\$</td> <td><u>12000</u></td> </tr> <tr> <td colspan="3"><b>Office Use Only</b></td> </tr> <tr> <td>PIM</td> <td>\$</td> <td></td> </tr> <tr> <td>Building Consent</td> <td>\$</td> <td></td> </tr> <tr> <td>BRANZ Levy</td> <td>\$</td> <td></td> </tr> <tr> <td>DBH Levy</td> <td>\$</td> <td></td> </tr> <tr> <td><b>TOTAL</b></td> <td>\$</td> <td><u>320.00</u></td> </tr> </tbody> </table> Receipt No: <u>477104</u> Date: <u>31/8/05</u>		Main buildings	\$		Accessory buildings	\$	<u>12000</u>	Plumbing & Drainage	\$		<b>Total Value of Work</b>	\$	<u>12000</u>	<b>Office Use Only</b>			PIM	\$		Building Consent	\$		BRANZ Levy	\$		DBH Levy	\$		<b>TOTAL</b>	\$	<u>320.00</u>
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DBH Levy	\$																																
<b>TOTAL</b>	\$	<u>320.00</u>																															

RECEIVED

30 AUG 2005

Kaipara District Council

### Part B: Project Details

#### Property Information Memorandum (Complete this part only when applying for a PIM)

The project involves the following matters. Tick each applicable box and attach relevant information in **triplicate** for residential and **four copies** for Commercial Industrial or Multi-Storey. **Always include one set A3 size.**

- ☒ (a) Location, in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings (Site Plan with elevations, Topography, drawn to scale).
- ☐ (b) Details of any known or potential erosion, avulsion, falling debris, filled ground, subsidence, slippage, alluvion, inundations, hazardous contaminants on or near the site, land contours.
- ☒ (c) Provisions to be made for vehicular access, including parking. (To be shown on site plan).
- ☐ (d) Provisions to be made in building over or adjacent to any road or public place.
- ☒ (e) Provisions to be made for disposing of stormwater and wastewater. (To be shown on site plan).
- ☐ (f) Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or water mains.
- ☐ (g) New connections to public utilities i.e. water supply, stormwater system, wastewater system.
- ☐ (h) Provisions to be made in any demolition work for the protection of the public, suppression of dust, suppression of noise, disposal of debris and disconnection from public utilities.
- ☐ (i) Details of any cultural or heritage significance of the building or building site, including whether it is on a marae or wahi tapu.
- ☐ (j) Copy of/or reference to, any resource consent or planning approval (including subdivision) for this project.
- ☐ (k) Details of volume of proposed excavations; include volumes for site preparation, basement and driveway.

### Part C: Building Details

#### Complete this part only when applying for a Building Consent

This application is accompanied by : (tick each applicable box, attach relevant documents in **triplicate** (one of which must be A3 size) for residential and **four copies** (one of which must be A3 size) for Commercial, Industrial or Multi-Storey).

- ☒ 1 The drawings, specifications and other documents according to which the building is proposed to be constructed to comply with the provisions of the New Zealand Building Code, with supporting documents, if any, including :
- ☐ 2 Building Certificates.
- ☒ 3 Producer Statements (including TP 58 Effluent Design), and any alternative solutions.
- ☐ 4 References to product certification issued by the Department of Building and Housing (DBH).
- ☐ 5 References to determinations issued by the Department of Building and Housing (DBH).

**For details on drawings and specifications etc, see checklist form. If applying for PIM and Building Consent together, then plans for PART B (a) can be included in PART C (1).**

**If a PIM has already been applied for then include a copy of any relevant authorisations (eg Resource Consents) with this application.**

### Part D : Key Personnel

From 30 November 2009, the Building Act 2004 requires all restricted building work to be carried out or supervised by a Licensed Building Practitioner. After this date, applications for consent can only be accepted where a Licensed Building Practitioner has been engaged and the registration number shown in the appropriate area below.

#### Designer

Name : IDEAL GARAGES LTD Reg No : Phone No : 09 579 6165  
 Address : PO Box 11243, ELLERSLIE, AUCKLAND  
 Mobile No : Email: alexstyles@idealgarages.co.nz

#### Builder (Licensed Building Practitioner From 30/11/2009)

Name : ALBERT BUILDINGS LTD Reg No : Phone No : 09 431 8232  
 Address : PO Box 47, MAUNGATUROTO  
 Mobile No : 027 538 3553 Email: albertbuildings@clear.net.nz

#### Registered Drainlayer

Name : Reg No : Phone No :  
 Address :  
 Mobile No : Email:

#### Registered Plumber

Name : Reg No : Phone No :  
 Address :  
 Mobile No : Email:

#### Registered Electrician

Name : Reg No : Phone No :  
 Address :  
 Mobile No : Email:

#### Registered Gas Fitter

Name : Reg No : Phone No :  
 Address :  
 Mobile No : Email:

#### Other

Name : Address : Mobile No :  


#### Other

Name : John Albert  
 Address : IDEAL BUILDINGS RODNEY-KAIPARA  
 7 Te Opi Road, Whakapirau, Northland  
 PO Box 47, Maungaturoto, New Zealand  
 Telephone 64 9 431 8232, Facsimile 64 9 431 8292  
 Mobile 027 538 3553, Email albertbuildings@clear.net.nz  
 Phone No :

## Part E: Compliance Schedule Details

### E1 : Systems Necessitating a Compliance Schedule :

The building will contain the following (tick each box and attach proposed inspection, maintenance and reporting procedures).

**Note :** The building consent cannot be issued unless all specified systems are included.

- ☐ Automatic sprinkler systems or other systems of automatic fire protection.
- ☐ Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire.
- ☐ Emergency warning systems for fire or other dangers.
- ☐ Emergency lighting systems.
- ☐ Riser mains for fire service use.
- ☐ Any automatic back-flow preventer connected to a potable water supply.
- ☐ Lifts, escalators, or travelators or other similar systems.
- ☐ Mechanical ventilation or air conditioning system serving all or a major part of the building.
- ☐ Any other mechanical units for providing access to the exterior and interior walls of buildings.
- ☐ Building maintenance units for providing access to the exterior and interior walls of buildings.
- ☐ Such signs as are required by the building code in respect of the above mentioned systems.
- ☒ None of the above.

### E2 : Other Systems and Features to be Included in the Compliance Schedule :

The building will contain the following : (Tick each applicable box and attach proposed inspection, maintenance and reporting procedures).

- ☐ Means of escape from fire.
- ☐ Safety Barriers.
- ☐ Means of access and facilities for use by persons with disabilities which meet the requirements of Schedule 2 of the Building Act 2004.
- ☐ Hand held hoses for fire fighting.
- ☐ Such signs as are required by the New Zealand Building Code or Schedule 2 of the Building Act 2004.

Check List For Applications			
<ul style="list-style-type: none"> <li>Return this checklist with your application</li> <li>Include all the information and documents requested</li> <li>Mark each checkbox as follows :</li> </ul>			
<input checked="" type="checkbox"/>	Item Included	<input type="checkbox"/>	Item Not Included
		<input type="checkbox"/>	N/A
			Item Not Applicable
			Office Use Only
<b>Application Form</b>			
<input checked="" type="checkbox"/>	All items relevant to your application are to be completed on the application form. Include accurate 'Values of Work' to be undertaken (GST incl)		<input type="checkbox"/>
<input checked="" type="checkbox"/>	Correct legal description included (Obtained from your rates notice, Certificate of Title or from Council's Customer Services Section)		<input type="checkbox"/>
<input checked="" type="checkbox"/>	Name, address and phone numbers of all personnel relevant to your project, including person to receive invoices		<input type="checkbox"/>
<input checked="" type="checkbox"/>	Copy of a Certificate of Title (Lease agreement, Copy of Sale and Purchase Agreement or other proof)		<input type="checkbox"/>
<input type="checkbox"/>	Copy of Consent Notices and related Engineering Reports if shown on title		<input type="checkbox"/>
<b>Site Plan (3 copies - 4 where fire report required, 1 set to be A3)</b>			
<input checked="" type="checkbox"/>	Site Plan included		<input type="checkbox"/>
<input checked="" type="checkbox"/>	Floor area shown of proposed building project and of existing buildings to a minimum scale of 1:200, using metric measurements		
<input checked="" type="checkbox"/>	Distance shown of proposed and existing buildings from all legal boundaries. These measurements are to be to the walls or nearest part of the building, any easements shown, overland flowpaths and/or any Council stormwater and drainage services		
<input checked="" type="checkbox"/>	Layout of existing and proposed sanitary and stormwater drains and mains shown, septic tanks and stormwater disposal		
<input checked="" type="checkbox"/>	Water supply source shown		
<input checked="" type="checkbox"/>	Vehicle entrance shown		
<input type="checkbox"/>	Site contours shown		
<b>Floor Plan (3 copies - 4 where fire report required, 1 set to be A3)</b>			
<input checked="" type="checkbox"/>	Floor Plans included		<input type="checkbox"/>
<input type="checkbox"/>	Floor plan of each floor level to a minimum scale of 1:100. Plan to include floor layout and use of each section and show the location of all plumbing, gas and electrical fittings. Show all waste and vent pipes (can be on separate plans)		
<b>Elevations (3 copies - 4 where fire report required, 1 set to be A3)</b>			
<input checked="" type="checkbox"/>	Elevations Plan included		<input type="checkbox"/>
<input checked="" type="checkbox"/>	An elevation of 1:100, each external wall showing heights and finished ground level at each external corner (see above for smaller scale allowances)		
<input type="checkbox"/>	Location of wall and roof bracing to be shown on elevations		
<input type="checkbox"/>	Scaled elevations indicating height from ground level to top of roofline		
<b>Foundation Plan (3 copies - 4 where fire report required, 1 set to be A3)</b>			
<input checked="" type="checkbox"/>	Foundation Plan included		<input type="checkbox"/>
<input checked="" type="checkbox"/>	Timber floors show location of all piles and sub-floor timber braces, foundation perimeter walls and internal piling system. For concrete floors, a detailed cross-section is required		
<input checked="" type="checkbox"/>	Wind zone calculations		
<input type="checkbox"/>	Sub-floor bracing calculations		

Check List For Applications (cont)			Office Use Only
<input checked="" type="checkbox"/> Item Included	<input type="checkbox"/> Item Not Included	<input type="checkbox"/> N/A Item Not Applicable	
<b>Cross Section Details (3 copies - 4 where fire report required, 1 set to be A3)</b> <input checked="" type="checkbox"/> Cross Section Plan included <input checked="" type="checkbox"/> Sufficient cross sections through the building to show foundation details, floor systems, wall construction, roof construction, location of wall claddings and roof covering. <input type="checkbox"/> Construction details of terraces, steps, balustrades, flashing detail in accordance with E2/AS1 plus any non-standard items at a scale of 1:20 shown <input type="checkbox"/> Plans have been completed to a scale of 1:50 and 1:20 where applicable			<input type="checkbox"/>
<b>Wall and Floor Bracing Calculations (3 copies - 4 where fire report required, 1 set to be A3)</b> <input checked="" type="checkbox"/> Wall and Bracing Calculations included <input checked="" type="checkbox"/> Submit wall and sub-floor bracing calculations and plans, detailing location of bracing elements <input type="checkbox"/> <b>Note :</b> One room additions – Locate requirements and their respective values on the elevations			<input type="checkbox"/>
<b>Plumbing Design Plan (3 copies - 4 where fire report required, 1 set to be A3)</b> <input checked="" type="checkbox"/> Plumbing Design Plan included <input checked="" type="checkbox"/> Plumbing Plan drawn to the AS/NZ Standards			<input type="checkbox"/>
<b>Effluent Design (TP 58 from Chartered Professional Engineer or Approved Designer)</b> <input checked="" type="checkbox"/> Effluent Design Plan included <input checked="" type="checkbox"/> 3 Copies of proof of compliance with TP 58 and the Northern Regional Council Water and Soil Plan			<input type="checkbox"/>
<b>Specific Design (3 copies - 4 where fire report required, 1 set to be A3)</b> To facilitate processing of specific design applications, provide the following information : <input checked="" type="checkbox"/> Full engineering calculations and drawings <input checked="" type="checkbox"/> Design Certificate/Producer Statement. <input type="checkbox"/> Soil report or geotechnical report (where applicable, refer title consent notice) <input checked="" type="checkbox"/> A written description of the building model and techniques used in construction. <input checked="" type="checkbox"/> Name and address of Chartered Professional Engineer			<input type="checkbox"/>
<b>Please tick the boxes below where appropriate :</b> <input type="checkbox"/> Vehicle Crossing Application needed <input type="checkbox"/> Historic Places review needed <input type="checkbox"/> Fire Service design unit Memorandum needed <input type="checkbox"/> Compliance Schedule application needed <input checked="" type="checkbox"/> Risk Matrix Calculations needed			<input type="checkbox"/>
<input type="checkbox"/> <b>Vehicle Crossing Application Form</b>			<input type="checkbox"/>
<input checked="" type="checkbox"/> <b>Risk Matrix Calculations</b>			<input type="checkbox"/>
<input type="checkbox"/> <b>Compliance schedule, (detailed design)</b>			<input type="checkbox"/>
<b>Application Fees :</b> Please refer to the Fees and Charges Schedule			
For assistance in completing this application please contact the Customer Services Centre on 0800 727 059 (Dargaville) or 09 431 2013 (Kaiwaka)			



Kaipara te Orangahau - Two Oceans Two Harbours

# Building Consent Progress Sheet

KAIPARA DISTRICT COUNCIL

<b>Name:</b>	J + M Moodie	<b>BC No:</b>	050754
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<b>Fees Assessment</b>		<b>Payment Details</b> Paid.	
<b>Value of Project</b> \$			
<b>Building Consent:</b>	\$ 270.00	<b>Rec No:</b>	477104
<b>PIM:</b>	\$ 50.00	<b>Date:</b>	31/8/05
<b>BRANZ Levy:</b>	\$		
<b>DBH Levy:</b>	\$	<b>Fees not paid/ Incorrect</b>	
<b>Total</b>	\$ 320.00	<b>Date invoice sent</b>	

## Further plans needed

## Notes

- ☐ Site
- ☐ Drainage
- ☐ Foundation
- ☐ Cross Section
- ☐ Elevation
- ☐ Bracing Calculation
- ☐ Floor Plan
- ☐ Specifications
- ☐ Fire Assessment
- ☐ Engineering
- ☐ Town Planning

The applicant was advised of the further information required by:

- ☐ Telephone
 ☐ Fax
 ☐ Email
 ☐ Letter

Status updated by (initials) *RJ*

Date 31/8/05

FI - Further information requested

IR - Information Received



Tax Invoice

Ideal Buildings  
C/- J & M Moodie  
PO Box 47  
Maungaturoto

GST Reg No. 52-237-122  
Date 1/09/05  
Customer No: BC050754  
Invoice Number 13135

050754 : 37 RANFURLY STREET, DARGAVILLE  
New Garage / Workshop

Qty	Description	Rate	Amount
	Building Consent Fee		270.00 *
	PIM Fee		50.00 *
	(* Incl GST \$35.56)		
	Total incl. GST		\$320.00
	LESS DEPOSIT PAID		320.00CR
	Net Due		0.00

Remittance Advice

Please use this remittance when making your payment and make cheques payable to Kaipara District Council.

Ideal Buildings  
C/- J & M Moodie  
PO Box 47  
Maungaturoto

Customer Number BC050754  
Invoice Date 1/09/05  
Invoice Number 13135  
Amount Due 0.00



Kaipara te Oraohau - Te Oraohau Te Oraohau

Tax INVOICE RECEIPT (GST NO. 52-237-122)  
Received with thanks by 5/06  
KAIPARA DISTRICT COUNCIL

01 08-05 15:29 Receipt no. 472104

\*COPY\* \*COPY\* \*COPY\*

DK BC050754

JUDGEMENT FEE 320.00-

Ideal Buildings::PO Box 47:Maungaturoto

CQ ASB DAR

ALBERT BUILDINGS LT 320.00



**COMPUTER FREEHOLD REGISTER  
UNDER LAND TRANSFER ACT 1952**

**Search Copy**



**R. W. Muir**  
Registrar-General  
of Land

**Identifier** NA1069/12  
**Land Registration District** North Auckland  
**Date Issued** 31 March 1953

**Prior References**  
NA249/29

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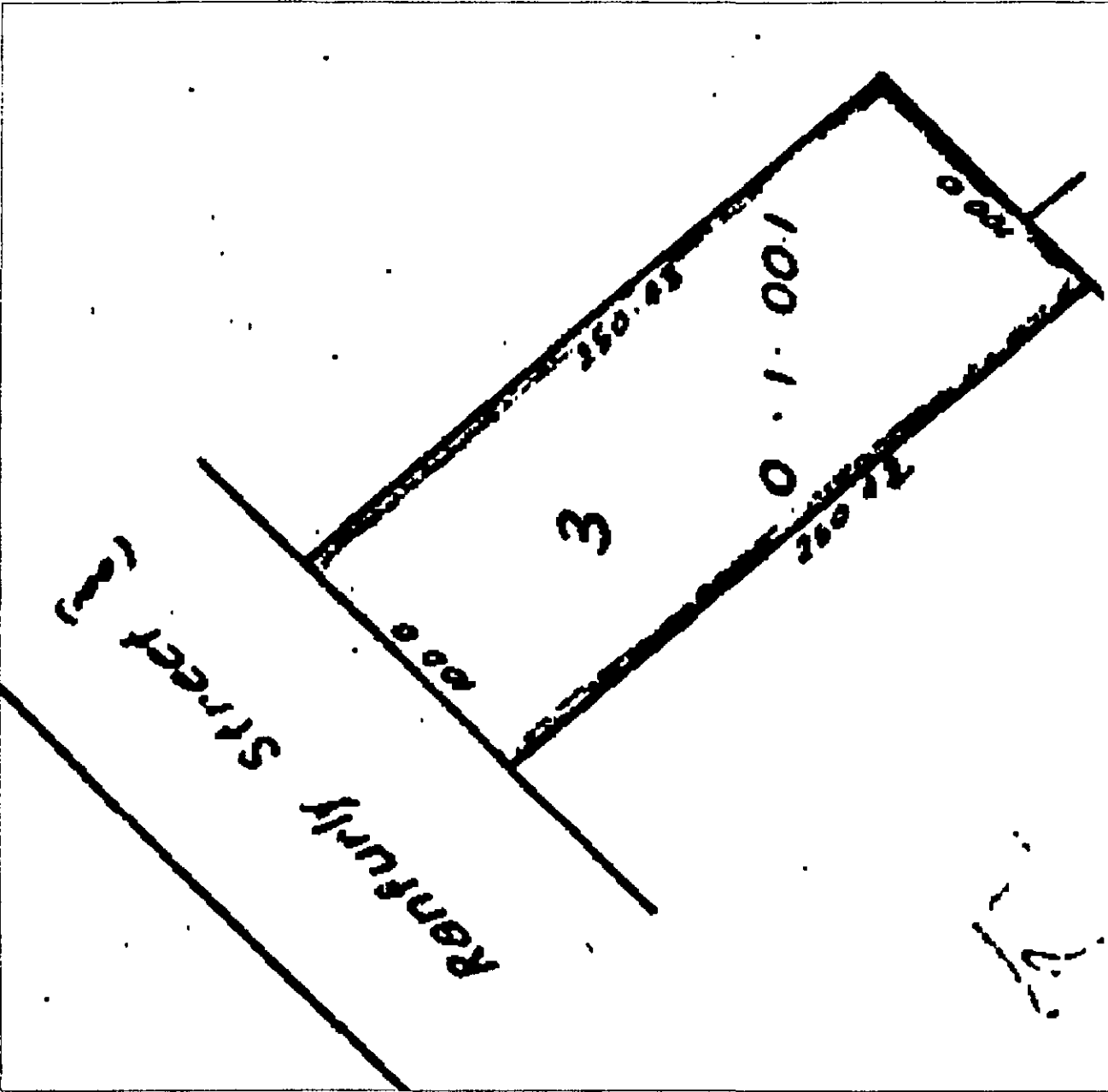
<b>Estate</b>	Fee Simple
<b>Area</b>	1014 square metres more or less
<b>Legal Description</b>	Lot 3 Deposited Plan 36778

**Proprietors**  
Johnny Moodie and Michelle Therese Moodie

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**Interests**  
6525833.3 Mortgage to Bank of New Zealand - 8.8.2005 at 9:00 am

Identifier NA1069/12





Kaipara te Orangahui - Two Oceans Two Harbours

# Building Consent Inspection Checklist

KAIPARA DISTRICT COUNCIL

**Note:** This form is to be kept on site at all times together with the approved plans and specifications.

<b>REQUIRED INSPECTIONS</b>		<b>BUILDING CONSENT NO.</b> 050754			
<b>NOTE:</b> One days notice is required for all inspections (A day means one Council Working day) Inspections relating to this consent are those highlighted in the following list.					
<b>CONTACT: KAIPARA DISTRICT COUNCIL</b> TELEPHONE: Dargaville PHONE:(09) 439 7059 FAX: (09) 439 6756 Kaiwaka PHONE:(09) 431 2013 FAX: (09) 431 2023		<b>APPROVED</b> YES NO		Re-check	Insp. Initial
<input checked="" type="checkbox"/> Foundations	Excavations level and clean, reinforcement in place, starters tied, with correct clearances prior to placement of concrete.				
<input type="checkbox"/> Subfloor	Sub floor bracing and connectors, crawl space, dpc.				
<input checked="" type="checkbox"/> Floor Slab	Damp proofing and/or reinforcement in place, correct clearances, plumbing & drainage pipes in place and protected, damp proofing continuous to the exterior face of the building.				
<input type="checkbox"/> Masonry	Inc. bond beams, reinforcement in place, starters tied, bottom of core & ports clean, plumbing & drainage pipes in place.				
<input type="checkbox"/> Prelining	At the stage where exterior cladding and joinery is in place, but prior to the erection or fixing of internal linings, includes plumbing in walls under test, framing, bracing, moisture content, insulation, fixings for subfloor.				
<input type="checkbox"/> Insulation	Skillion roofs, solid construction (where insulation cannot be seen at the preline stage).				
<input type="checkbox"/> Gib Nail	Sheet bracing and insulation, double skin firewalls.				
<input type="checkbox"/> Pre-Cladding	Exterior bracing straps, building paper placement, external & internal flashings, cavities, fixing as per spec, fixing materials eg stainless steel & corresponding to cladding system.				
<input type="checkbox"/> Brick Veneer	When the veneer reaches sill height (brick ties, weep holes, clean cavities, steel lintels which support brickwork).				
<input type="checkbox"/> Sanitary Drainage	Manholes, benching, test on lines bedding SS connection, septic tank & irrigation installations prior to backfilling.				

As Built Drainage Plan Required? YES ☒ NO ☐

<input checked="" type="checkbox"/> Stormwater Drainage	All drains, manholes, connection to SW system, soak holes in place but prior to covering up.				
<input type="checkbox"/> Disconnect Sanitary Drainage	Demolition work, capping sewer.				
<input type="checkbox"/> Disconnect Stormwater	Removal and capping of existing stormwater connection.				
<input type="checkbox"/> Disconnect Water	Removal of water meter from Council supply.				
<input type="checkbox"/> Special Conditions	Where notice is required for specific items.				
<input checked="" type="checkbox"/> Completion	Weathertightness, flashings, doors, deviation from plans, building, plumbing, drainage, free standing fire unit completion of all work authorised by this consent required prior to the issue of the Code Compliance Certificate.				

**NOTE:** DEPENDING ON THE FORM OF CONSTRUCTION SOME OF THESE INSPECTIONS COULD BE INCORPORATED INTO ONE INSPECTION.



Kaipara te Orangahau - Two Oceans Two Harbours

Request For Project Information Memorandum

KAIPARA DISTRICT COUNCIL

TO: Customer Services Team BC No: \_\_\_\_\_

FROM: Jim Vallance / ~~Richard Greaves~~ / ~~Derek Free~~

DATE: 2-09-05

Property Zone: RESIDENTIAL Stats Code:

Valuation Number: 95/198/1

Please distribute to: Engineering Yes / No  
Town Planning Yes / No

Information For Project Information Memorandum

This project information memorandum is:

☒ Confirmation that the proposed building work may be undertaken, subject to the provisions on the Building Act 1991 and any requirements of the building consent

Not yet applied for ☐

No: ..... attached ☒

Not yet issued ☐

☐ Notification that the proposed building work may not be undertaken because a necessary authorisation has been refused

1	<input checked="" type="checkbox"/>
2	<input checked="" type="checkbox"/>
3	<input checked="" type="checkbox"/>
4	<input checked="" type="checkbox"/>
5	<input type="checkbox"/>
6	<input type="checkbox"/>
7	<input checked="" type="checkbox"/>
8	<input type="checkbox"/>
9	<input checked="" type="checkbox"/>
10	<input checked="" type="checkbox"/>
11	<input checked="" type="checkbox"/>
12	<input checked="" type="checkbox"/>
13	<input type="checkbox"/>
14	<input type="checkbox"/>
15	<input checked="" type="checkbox"/>
16	<input type="checkbox"/>
17	<input type="checkbox"/>
18	<input type="checkbox"/>

This project information memorandum includes:

☒ Information identifying relevant special features of the land concerned

☐ Information about the land or buildings concerned notified to the Council by any statutory organisation having the power to classify land or buildings

☐ Details of relevant utility systems

☐ Details of authorisations that have been granted

☐ Notification of any other authorisations that must be obtained before the proposed building work may be undertaken

☐ Details of authorisations, which have been refused

## KAIPARA DISTRICT COUNCIL

## ATTACHMENT TO PROJECT INFORMATION MEMORANDUM NO 00

## INSPECTORATE

## PLANNING

## ENGINEERING

<p>(A) Wind Zone rating for site</p> <p>Low Medium High ✓ Very High</p> <p>(B) Durability : Classification of Exposure Zones Sea Spray Zone Zone 1 ✓ Zone 2</p> <p>(C) Provisions being made with regard to building over or adjacent to a road or public place are acceptable</p> <p>Hoardings ) Gantries ) N/A Temporary Support )</p> <p>(D) Provisions made for demolition are adequate</p> <p>Removal of materials from site ) Dust Extraction ) N/A</p> <p>(E) The site is known to be affected by hazardous contaminants which may impact on the proposed project</p> <p>Chemical Contamination ) Underground Tanks ) None Known Asbestos )</p> <p>(F) Licences required to operate, subject to Building Consent being granted</p> <p>Health Licences ) Dangerous Goods Licence ) N/A</p>	<p>(A) Proposed Project complies with District Plan Zoning</p> <p>Yes ✓ No</p> <p>(B) The bulk and location of the proposed project complies with the restrictions of the District Plan</p> <p>Yes ✓ No</p> <p>(C) Special planning restrictions known to affect the site which impact on the proposed project</p> <p>Protected Tree Restrictions ) Historic Site Restrictions ) None Known</p> <p>(D) Proposed vehicle access acceptable</p> <p>Gradient ) Width ) Existing Length )</p> <p>(E) Resource Consent Required - No</p> <p>Nature of required consent</p> <p><b>NOTE:</b> The Northland Regional Council Transitional Regional Rule for small domestic sewage treatment systems, requires that there be a two metre separation between the lowest point of a septic tank effluent field and the highest ground water level. As this can only be determined by an examination of your site it is recommended that you seek professional advice on this point. If you cannot obtain the required separation it will be necessary to apply to the Northland Regional Council for a resource consent to discharge effluent.</p>	<p>(A) The site is known to have soil conditions which will have impact on the proposed project</p> <p>Fill ) Erosion ) Slippage ) None Known Poor Bearing Capacity )</p> <p>(B) Site is known to be prone to flooding or lies within an overland flow path - No</p> <p>(C) Proposed methods for building over or near service pipes acceptable? - N/A</p> <p>(D) Proposed connection to services acceptable</p> <p>Stormwater Disposal N/A AS SHOWN Foulwater Disposal N/A Water Connection N/A</p> <p>(E) Proposed location of vehicle access acceptable</p> <p>Location ) Existing Traffic Implications )</p> <p>(F) Restrictions which may be imposed owing to potential impact on traffic</p> <p>Signs N/A</p>
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## Building Consent 050754

(Form 5) Section 51, Building Act 2004

J & M Moodie  
C/- Ideal Buildings  
PO Box 47  
Maungaturoto

Issue Date: 5/09/05  
Application Date: 30/08/05  
Overseer: Jim Vallance

### THE PROJECT: (the following Building Work is authorised by this Building Consent)

<b>Description:</b>	New Garage / Workshop 3359 - OTHER OUTBUILDINGS EG SHED, WORKSHOP, SLEEPOUT
<b>Type of Work:</b>	
<b>Estimated Value:</b>	\$12,000
<b>Intended Use:</b>	Owners Use
<b>Intended Life:</b>	Indefinite, but not less than 50 years
<b>Stages:</b>	Being Stage 1 of an intended 1 Stage

### THE BUILDING:

<b>Street Address of Building:</b>	37 RANFURLY STREET, DARGAVILLE
<b>Valuation Number:</b>	0095019801
<b>Legal Description:</b>	LOT 3 DP 36778
<b>Building Name:</b>	Garage
<b>Location of Building within site/block number:</b>	
<b>Level/Unit Number:</b>	

### THE OWNER:

<b>Owners Name:</b>	J & M Moodie		
<b>Owners Mailing Address:</b>	37 Ranfurly Street, Dargaville		
<b>Street Address/Registered Office:</b>			
<b>Phone</b>	<b>Landline:</b> 09 439 4606	<b>Daytime:</b>	<b>After Hours:</b>
<b>Number</b>	<b>Mobile:</b>	<b>Fax:</b>	
<b>Email:</b>	<b>Website:</b>		

### FIRST POINT OF CONTACT: (with the Council/Building Authority)

<b>First Point of Contact:</b>			
<b>Mailing Address:</b>	C/- Ideal Buildings, PO Box 47, Maungaturoto, Att: John Albert		
<b>Phone</b>	<b>Landline:</b> 09 4318 232	<b>Daytime:</b>	<b>After Hours:</b>
<b>Number</b>	<b>Mobile:</b>	<b>Fax:</b> 09 4318 292	
<b>Email:</b> albertbuildings@clear.net.nz	<b>Website:</b>		

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Signature



Date: 5/09/05

Position Building Services Officer

On behalf of KAIPARA DISTRICT COUNCIL



**ADDENDA TO THIS BUILDING CONSENT:**

1. This consent will lapse if building work has not commenced within 6 months from the date of issue or if reasonable progress has not been made within 12 months after work has commenced. The consent may be extended for a further period at the discretion of Council.
2. No deviation or alteration from the original plans and specifications can be carried out without written approval of Council and no building may be converted to any other use other than that stated on the building consent.
3. IMPORTANT: YOU ARE FULLY RESPONSIBLE FOR ANY DAMAGE DONE TO ANY WORKS SUCH AS TELEPHONE CABLES, POWER CABLES, WATER MAINS, GAS MAINS, SEWERS, PIPES, FOOTPATHS, ROADS OR OTHER SERVICES.
4. As the property owner is responsible for the correct siting of all works in accordance with the NZ Building Code and the Resource Management Act, the owner must ascertain the true position of survey pegs before work commences.
5. NOTICE THAT BUILDING WORK IS READY FOR INSPECTION. For the purposes of Section 76 of the Building Act, and unless otherwise provided by the building consent, the owner or other person undertaking any building work shall give:
  6. b) at least 1 working days notice of the covering up of any
  7. i) drainage or plumbing
  8. ii) excavation for a foundation
  9. iii) reinforcing steel for a foundation
10. Council MUST be notified at the completion of building work on the attached form.

**COMPLIANCE SCHEDULE:**

A compliance schedule is not required for the building.

**ATTACHMENTS:**

Copies of the following documents are attached to this building consent:

**BUILDING CONSENT FEES:**

Please note that further fees may be required to be paid before a Code Compliance Certificate is issued for this Building Consent. All fees must be paid before a Code Compliance Certificate will be issued.

## Project Information Memorandum 050754

Section 31, Building Act 2004

J & M Moodie  
C/- Ideal Buildings  
PO Box 47  
Maungaturoto  
Att: John Albert

Issue Date: 5/09/05  
Application Date: 30/08/05  
Overseer: Jim Vallance

### THE PROJECT:

<b>Description:</b>	New Garage / Workshop 3359 - OTHER OUTBUILDINGS EG SHED, WORKSHOP, SLEEPOUT
<b>Type of Work:</b>	
<b>Estimated Value:</b>	\$12,000
<b>Intended Use:</b>	Owners Use
<b>Intended Life:</b>	Indefinite, but not less than 50 years
<b>Stages:</b>	Being Stage 1 of an intended 1 Stage

### THE BUILDING:

<b>Street Address of Building:</b>	37 RANFURLY STREET, DARGAVILLE
<b>Valuation Number:</b>	0095019801
<b>Legal Description:</b>	LOT 3 DP 36778
<b>Building Name:</b>	Garage
<b>Location of Building within site/block number:</b>	
<b>Level/Unit Number:</b>	

This Project Information Memorandum is confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 2004, and any requirements of the Building Consent.


### This Project Information Memorandum includes:

This project information memorandum is confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 2004, and any requirements of the building consent.

This project information memorandum includes:

\_\_\_ Information identifying special features of the land concerned

Signature



Date: 5/09/05

Position Building Services Officer

On behalf of: KAIPARA DISTRICT COUNCIL

# KAIPARA DISTRICT COUNCIL

## ATTACHMENT TO PROJECT INFORMATION MEMORANDUM NO 050754

### INSPECTORATE

### PLANNING

### ENGINEERING

<p>(A) Wind Zone rating for site</p> <p>Low Medium High ✓ Very High</p> <p>(B) Durability : Classification of Exposure Zones</p> <p>Sea Spray Zone Zone 1 ✓ Zone 2</p> <p>(C) Provisions being made with regard to building over or adjacent to a road or public place are acceptable</p> <p>Hoardings ) Gantries ) N/A Temporary Support )</p> <p>(D) Provisions made for demolition are adequate</p> <p>Removal of materials from site ) Dust Extraction ) N/A</p> <p>(E) The site is known to be affected by hazardous contaminants which may impact on the proposed project</p> <p>Chemical Contamination ) Underground Tanks ) None Known Asbestos )</p> <p>(F) Licences required to operate, subject to Building Consent being granted</p> <p>Health Licences ) Dangerous Goods Licence ) N/A</p>	<p>(A) Proposed Project complies with District Plan Zoning</p> <p>Yes ✓ No</p> <p>(B) The bulk and location of the proposed project complies with the restrictions of the District Plan</p> <p>Yes ✓ No</p> <p>(C) Special planning restrictions know to affect the site which impact on the proposed project</p> <p>Protected Tree Restrictions ) Historic Site Restrictions ) None Known</p> <p>(D) Proposed vehicle access acceptable</p> <p>Gradient ) Width ) Existing Length )</p> <p>(E) Resource Consent Required – No</p> <p>Nature or required consent –</p> <p><b>NOTE:</b> The Northland Regional Council Transitional Regional Rule for small domestic sewerage treatment systems, requires that there be a two meter separation between the lowest point of a septic tank effluent field and the highest ground water level. As this can only be determined by an examination of your site it is recommended that you seek professional advice on this point. If you cannot obtain the required separation it will be necessary to apply to the Northland Regional Council for a resource consent to discharge effluent.</p>	<p>(A) The site is known to have soil conditions which will have impact on the proposed project</p> <p>Fill ) Erosion ) Slippage ) None Known Poor Bearing Capacity )</p> <p>(B) Site is known to be prone to flooding or lies within an overland flow path - No</p> <p>(C) Proposed methods for building over or near service pipes acceptable? - N/A</p> <p>(D) Proposed connection to services acceptable</p> <p>Stormwater Disposal ) As Shown Foulwater Disposal ) N/A Water Connection ) N/A</p> <p>(E) Proposed location of vehicle access acceptable</p> <p>Location ) Existing Traffic Implications )</p> <p>(F) Restrictions which may be imposed owing to potential impact on traffic</p> <p>Signs N/A</p>
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10 March 2010

J & M Moodie  
190 Opanake Road  
RD 2  
Dargaville

Dear J & M Moodie

**Building Consent Application 050754 Valuation Number 0095019801 37 Ranfurly Street.**

A review of our records have identified that as yet, no final inspection has been called for in relation to Building Consent 050754, and therefore no Code Compliance Certificate issued.

Council would like to bring your attention to Section 93(2)(b) of the Building Act 2004:

**93 Time in which building consent authority must decide whether to issue Code Compliance Certificate**

(2)(b) if no application is made, the expiry of:

(i) 2 years after the date on which the building consent for the building work was granted.

If your work is finished please *complete, sign and return* the Application for Code Compliance Certificate and book your final inspection.

Please be assured of our good intentions in assisting you with the best outcome possible.

Yours faithfully

PP. 

Jim Vallance  
**Building Services Officer**



Kaipara te Ora-kaitiaki - The District - The Harbour

## FIELD ADVICE NOTICE - 3 Pg 1

P O Box 26, Kaiwaka, Northland  
Free Phone: 0800 100 388  
Phone: (09) 431 2013  
Fax: (09) 431 2023  
www.kaipara.govt.nz

BC # 050754

Date: 21-06-10

06146

Applicant: J &amp; M MOODIE

Contractor: IDEAL BUILDINGS

Site Address: 37 RANFALL ST

Inspection

Reinspection Required:

Recommended to issue CCC:

Passed / Failed

Yes / No

Yes / No

VAL #

Travelling Time:

Inspection Time:

11:30 am

Officer: JIM VALLANCE

Signature:

21 FINAL INSPECTION	OK	Not	N/A	Reason for the decision / Comments ..... If further inspection needed please indicate
1 Peer Review required (over 5 yrs)				
2 Owners Application for CCC / Contractors List	✓			
3 Consent Documents on Site		✗		
4 Photos Taken				
20 FINAL FIREPLACES INSPECTION	OK	Not	N/A	
1 Smoke Alarms with Hush				
2 Hearth size and & secured				
3 Fire Place Clearances				
4 Fire Place secured				
5 Flue Shield				
6 Flashings / Flue Height				
7 Wet back circulators correct size and fall				
PLUMBING	OK	Not	N/A	
1 Waste pipe correct support & gradient				
2 Water filtration system installed				
3 Hot water pipe lagged				
4 1 metre minimum of copper outlet of HWC				
5 Hot water cylinder seismic restraint				
6 Hot water tempering value set at 45/55 degrees				
7 Hot water energy cut out switch to all valve vented systems				
8 Hot water drain OK (falls to outside of building)				
9 Filter, non return, stop, cold water expansion, pressure reducing & pressure relief valves				
10 Notches & holes in joists & bearers				
11 Waste pipes sizing / fall / support to gully trap				
12 Soil pipe sizing / fall / support				
13 Adequate support to water pipes				
14 Water supply tank / bore / supply				
15 Back flow prevention where required				
16 Other				
FINAL INTERNAL INSPECTION	OK	Not	N/A	
1 Smoke alarms with hush				
2 Sink insert secured correctly				
3 Service rooms impervious walls				
4 Service rooms impervious floors				
5 Producer statement membrane in wet areas				
6 Ceiling insulation (clear of downlights)				
7 Safety glass where required				
8 Ventilation				
9 Stairs gap / tread / rise / handrails				
10 Barrier Height 1.0m / 1.1m / Stairs 900mm				
11 Safety from falling eg. 100mm balustrade gaps				
12 Access for disabled (commercial only)				
13 Facilities for disabled (commercial only)				
14 All surfaces completed				

An inspection of the above mentioned premises has been undertaken and the matters as listed must be completed within ..... Days or otherwise stated

Action to be taken:

Issued by:

Designation: Building Officer

Next inspection:

This notice Received By:

Owner / Agent / Contractor



# FIELD ADVICE NOTICE - 3 Pg 2

P O Box 26, Kaiwaka, Northland  
Free Phone: 0800 100 388  
Phone: (09) 431 2013  
Fax: (09) 431 2023  
www.kaipara.govt.nz

06146

FINAL EXTERIOR INSPECTION		OK	Not	N/A	Reason for the decision / Comments ..... If further inspection needed please indicate
1	Conditions on Resource / Building consent	<input checked="" type="checkbox"/>			
1a	Landscaping Complete				
2	Joints in bearers supported				
3	Ground clearance to u/side of floor				
4	Subfloor ventilation				
5	Subfloor bracing				
6	U/floor insulation				
7	Finished ground level				
8	Cladding (joints, corner, scribes window flashing etc)	<input checked="" type="checkbox"/>			
9	Cladding - painted / penetrations sealed	<input checked="" type="checkbox"/>			
10	Brick veneer weep holes cleared				
11	Roof & post fixings				
12	Roof, ridging and flashings fixed correctly	<input checked="" type="checkbox"/>			
13	Roof penetrations flashed correctly				
14	Spouting fixed correctly	<input checked="" type="checkbox"/>			
15	Down pipe clips at 1.2	<input checked="" type="checkbox"/>			
16	Vent pipe clips at 1.2				
17	Vent Discharge / Vermin cage				
18	Stairs gap / tread / rise / handrails				
19	Barriers 1.0m / 1.1m / stairs 900mm				
20	Safe from falling ballustrades				
21	RAMPS grade / slip resistance				
22	Safety Glass ( Glass Visible - commercial)				
<b>DRAINAGE</b>		<b>OK</b>	<b>Not</b>	<b>N/A</b>	
1	As built drainage plan s/water and sewer				
2	Gully dish 25mm above sealed surface "A"				
3	Gully dish 75mm above unsealed surface "B"				
4	Relief gully installed				
5	Foulwater drain finished				
6	Ventilation to drains, e.g. TV & or valves				
7	Stormwater drain finished				
8	Retaining wall drainage connected into stormwater drain				
9	Overflow to water tank				
10	Access for septic tank maintenance				
11	Commissioning statements				
12	Effluent Completed Barking / Planting				
<b>PRODUCER STATEMENTS</b>		<b>OK</b>	<b>Not</b>	<b>N/A</b>	
1	Engineer / Licenced Building Practioneer				
2	Membranes / Roof				
<b>FINAL POOL INSPECTION</b>		<b>OK</b>	<b>Not</b>	<b>N/A</b>	
1	Pool fencing compliance (sheet completed)				
2	Back flow prevention where required				
<b>ENERGY CERTIFICATES</b>		<b>OK</b>	<b>Not</b>	<b>N/A</b>	
1	Electrical				
2	Gas				
<b>ROAD DAMAGE</b>		<b>OK</b>	<b>Not</b>	<b>N/A</b>	
1	Footpath & kerb damage				
2	Crossing installed				
<b>COMMERCIAL</b>		<b>OK</b>	<b>Not</b>	<b>N/A</b>	
1	Compliance Schedule				
2	Fire Design Compliance				
3	FPIS report /				
4	Certificate of Public Use				
5	Fire Service - Evacuation Scheme				
6	Fire Service - Conditions meet				
7	Producer Statements - Fire Alarm, Ventilation etc				

TO GROUND BUT NOT CAUSING DAMAGE  
OR NUISANCE

An Inspection of the above mentioned premises has been undertaken and the matters as listed must be completed within ..... Days or otherwise stated

Action to be taken:

Issued by:

Designation: Building Officer

Next Inspection:

This notice Received By:  
Owner / Agent / Contractor



Kaipara te Orangahui • Two Oceans Two Harbours


## Code Compliance Certificate Checklist

KAIPARA DISTRICT COUNCIL

## Code Compliance Certificate Checklist

Address of Property		37 RANFURLY ST			
Consent Number		050754	Date	21-04-10	
Staff Responsible		JIM VALLANCE		Building Category	1.1
Note: In some cases some of the following items may not need to be checked					
Number	Issue	Yes	No	N/A	Comment *1-7 (CSO Build)
1 *	Change of owner or address	<input checked="" type="checkbox"/>	No	N/A	OWNERS ADDRESS CHANGED
2 *	Request for CCC within 2 year time-frame	Yes	No	N/A	LETTER SENT
3 *	All inspections completed	<input checked="" type="checkbox"/>	No	N/A	
4 *	Development contributions paid	Yes	No	N/A	
5 *	Energy works certificate provided	Yes	No	N/A	
6 *	Inspection fees paid	<input checked="" type="checkbox"/>	No	N/A	
7 *	All building consent conditions fulfilled	Yes	No	N/A	
8 *	Ensure that conditions of geotechnical reports, engineers reports of producer statements are complied with	Yes	No	N/A	
9 *	Work complies with approved building consent documentation	<input checked="" type="checkbox"/>	No	N/A	
10 *	Specified systems/performance standards	Yes	No	N/A	
11 *	Final sheet check items	Yes	No	N/A	
12 *	LBP advised that building work does not comply	Yes	No	N/A	
13 *	Survey certificates – siting, height in relation to boundary, maximum height of building or minimum floor level	Yes	No	N/A	
14 *	List of consultants	Yes	No	N/A	
15 *	Amendments, and associated documentation properly completed	Yes	No	N/A	
16 *	Document applies to <b>building work</b> for which a building consent has been issued <b>before the date</b> on which the compliance document came into force	Yes	No	N/A	

17 *	Reference (if applicable) to acceptable solutions of verification methods	Yes	No	N/A	
18 *	Documentation <b>incomplete</b> , suspend the time clock. Obtain necessary information. Enter note into NCS.	Yes	No	N/A	
19 *	If time clock stopped owner notified	Yes	No	N/A	
20 *	File forwarded to Senior Building Services Officer to undertake a Peer Review (over 5 years old) and arrange issue of CCC	Yes	No	N/A	
21 *	If compliance schedule must be issued, co-ordinate issue with issue of CCC	Yes	No	N/A	
22 *	Photographs	Yes	No	N/A	
23 *	CPENG engineers producer statements	Yes	No	N/A	
24 *	Alternative solutions	Yes	No	N/A	
25 *	CCC Consent issued under the transitional provisions of Section 436 Building Act 2004 noted added to CCC	Yes	No	N/A	
Compliance document must not state any restrictions relating to:					
26 *	Regulatory approvals, dispensations or waivers	Yes	No	N/A	

Issue CCC	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Reason for Decision	<p>I am Satisfied on reasonable grounds that the</p> <p>Building work complies with the building code at the time the building consent was granted (see number 25)</p> <p>Building work complies with the building consent issued</p> <p>;and the specified systems in the building are capable of performing to the performance standards set out in this building consent (Added to CCC and the compliance schedule as attachment) (compliance schedule statement issued)</p>	
Signed		

"Yes" means Approved

"No" Means not Approved

"N/A" means Not Applicable





Kaipara te Orangahiri • Two Oceans Two Harbours

CCC Plan 21-04-10

*[Signature]*

KAIPARA DISTRICT COUNCIL

## Application for a Code Compliance Certificate for 050754

(Form 6) Section 92 Building Act 2004

J & M Moodie  
C/- Ideal Buildings  
PO Box 47  
Maungaturoto

*NOTE CHANGE OF ADDRESS*

Issue Date: 5/09/05  
Application Date: 30/08/05  
Overseer: Jim Vallance

### IMPORTANT:

You need to submit this form when requesting your final inspection. Please check that the details below are still current when submitting it, and that all information required is provided. Once you make this request, Council will have 20 working days within which to deal with it. You will need to insure that all fees relating to this Building Consent are paid. The Code Compliance Certificate will not be issued while fees are owing.

### THE OWNER:

Owners Name: J & M Moodie			
Owners Mailing Address: 37 Ranfurly Street, Dargaville			
Street Address/Registered Office:			
Phone Number	Landline: 09 439 4606	Daytime:	After Hours:
	Mobile:	Fax:	
Email:		Website:	

### THE BUILDING (The following building work was authorised by this Building Consent)

Description:	New Garage / Workshop
Street Address of Building:	37 RANFURLY STREET, DARGAVILLE
Valuation Number:	0095019801
Legal Description:	LOT 3 DP 36778

### THE AGENT:

Agents Name:			
Agents Mailing Address:			
Street Address/Registered Office:			
Phone Number	Landline:	Daytime:	After Hours:
	Mobile:	Fax:	
Email:		Website:	
Relationship to Owner: (State details of authorisation from the owner to make the application on the owner's behalf)			

### FIRST POINT OF CONTACT: (with the Council/Building Authority)

First Point of Contact:			
Mailing Address: C/- Ideal Buildings, PO Box 47, Maungaturoto, Att: John Albert			
Phone Number	Landline: 09 4318 232	Daytime:	After Hours:
	Mobile:	Fax: 09 4318 292	
Email: albertbuildings@clear.net.nz		Website:	

**KEY PERSONNEL:** The Personnel who carried out the building work are as follows:

**Designer**

Name : ..... Reg No : ..... Phone No : .....  
 Address : .....  
 Mobile No : ..... Email: .....

**Builder (Licensed Building Practitioner From 30/11/2009)**

Name : ..... Reg No : ..... Phone No : .....  
 Address : .....  
 Mobile No : ..... Email: .....

**Registered Drainlayer**

Name : ..... Reg No : ..... Phone No : .....  
 Address : .....  
 Mobile No : ..... Email: .....

**Registered Plumber**

Name : ..... Reg No : ..... Phone No : .....  
 Address : .....  
 Mobile No : ..... Email: .....

**Registered Electrician**

Name : ..... Reg No : ..... Phone No : .....  
 Address : .....  
 Mobile No : ..... Email: .....

**Registered Gas Fitter**

Name : ..... Reg No : ..... Phone No : .....  
 Address : .....  
 Mobile No : ..... Email: .....

**Other**

Name : ..... Reg No : ..... Phone No : .....  
 Address : .....  
 Mobile No : ..... Email: .....

**Other**

Name : ..... Reg No : ..... Phone No : .....  
 Address : .....  
 Mobile No : ..... Email: .....

**SPECIFIED SYSTEMS:** The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the building consent.

Type of system	Existing	New	Altered	Added	Removed
1 Automatic systems for fire suppression	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2 Automatic or manual emergency warning systems	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3/1 Automatic doors	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3/2 Access controlled doors	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3/3 Interfaced fire or smoke doors or windows	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4 Emergency lighting systems	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5 Escape route pressurisation systems	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6 Riser mains for use by fire services	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7 Any automatic backflow preventers fitted to a potable water supply	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8/1 Passenger carrying lifts	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8/2 Service lifts	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8/3 Escalators and moving walks	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9 Mechanical ventilation systems, or air conditioning systems	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10 Building maintenance units for providing access to buildings (internal or external)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11 Laboratory fume cupboards	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12/1 Audio loops	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12/2 FM radio frequency systems and infrared beam transmis	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13/1 Mechanical smoke control systems	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13/2 Natural smoke control	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13/3 Smoke curtains	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14/1 Emergency power systems for any of the above systems	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14/2 Signs for systems	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
15/1 Systems for communicating spoken information for evacuation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
15/2 Final exits	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
15/3 Fire separations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
15/4 Signs for fire systems	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
15/5 Smoke separations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A – Safety barriers	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
B – Means of access and facilities	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
C – Handheld hose reels	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16 Cable car	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>


**ATTACHMENTS:** The following documents are attached to this application:

<input type="checkbox"/>	Certificates from the personnel who carried out the work
<input type="checkbox"/>	Certificates that relate to the energy work
<input type="checkbox"/>	Evidence that specified systems are capable of performing to the performance standards set out in the Building Consent

**EVIDENCE OF OWNERSHIP:** (The following evidence of ownership is attached to this application):

<input type="checkbox"/>	Copy of Certificate of Title
<input type="checkbox"/>	Lease Agreement for Sale and Purchase
<input type="checkbox"/>	Other document showing full name of legal owner(s) of the building/property
Please state other document: <input type="text"/>	

**REQUEST TO ISSUE A CODE COMPLIANCE CERTIFICATE FOR BC 050754:**

All of the building work relating to the Building Consent 050754 was completed on:		
I request that the Kaipara District Council issue a Code Compliance Certificate for the Building Consent 050754 under Section 95 of the Building Act 2004:		
Signed by / for and on behalf of/ the owner		
Note: If acting for and on behalf of, please read the following declaration prior to signing		
'I hereby declare that I am authorised to act as the Agent of the Applicant':		
Signed:		<i>Michelle Moodie</i>
	Signature	Name
		Date
The Code Compliance Certificate should be sent to:		
Name:	<input type="text"/>	Owner / Agent (delete one)
Address:	<input type="text"/>	
	<input type="text"/>	
	<input type="text"/>	

190 Opanake Road  
RD 2  
DARGAVILLE 0372

## Code Compliance Certificate 050754

Form 7, Section 95, Building Act 2004

J & M Moodie  
190 Opanake Road  
RD2  
Dargaville

Issue Date: 22/04/10  
Overseer: Jim Vallance

### THE BUILDING:

Street Address of Building:	37 RANFURLY STREET, DARGAVILLE
Valuation Number:	0095019801
Legal Description:	LOT 3 DP 36778
Building Name:	Garage
Location of Building within site/block number:	
Level/Unit Number:	
Current Lawfully Established Use:	Residential use
Year First Constructed:	

### THE PROJECT:

Description:	New Garage / Workshop OTHER OUTBUILDINGS EG SHED, WORKSHOP, SLEEPOUT
Type of Work:	
Intended Use:	Owners Use
Intended Life:	Indefinite, but not less than 50 years
Stages:	Being Stage 1 of an intended 1 Stage

### THE OWNER:

Owners Name:	J & M Moodie		
Owners Mailing Address:	37 Ranfurly Street, Dargaville		
Street Address/Registered Office:			
Phone Number	Landline: 09 439 4606	Daytime:	After Hours:
	Mobile:	Fax:	
Email:		Website:	

### FIRST POINT OF CONTACT:

First Point of Contact:	Full Name: J & M Moodie
	Mailing Address: C/- Ideal Buildings, PO Box 47, Maungaturoto, Att: John Albert
	Phones:: 09 4318 232
	Fax: 09 4318 292
	Email: albertbuildings@clear.net.nz

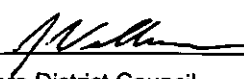
### BUILDING WORK:

Building Consent Number:	050754
Issued By:	Kaipara District Council

This Code Compliance Certificate is issued by the Kaipara District Council. As the Building Consent Authority it is satisfied, on reasonable grounds that :

- the building work complies with the Building Consent 050754

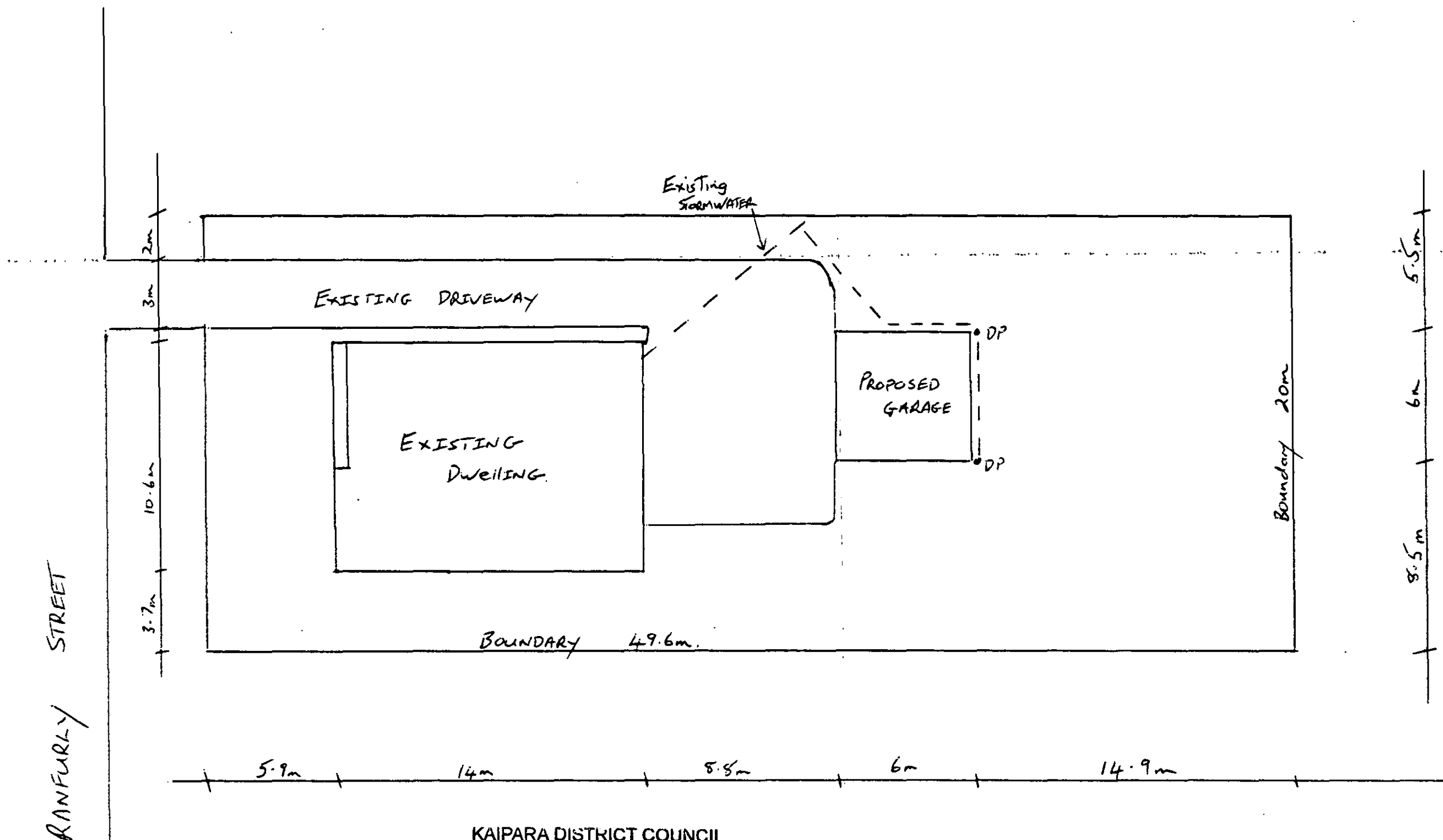
Signature



Date: «IssueDate»

Position Building Services Officer

On behalf of: Kaipara District Council



KAIPARA DISTRICT COUNCIL

BC 050254

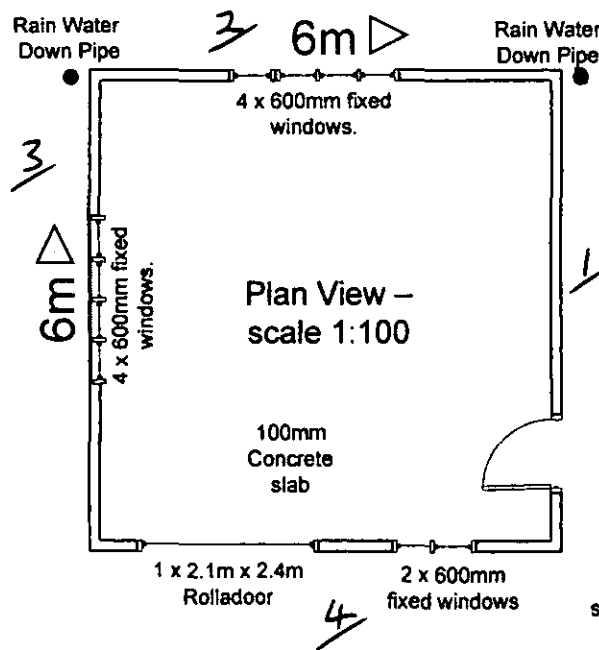
*[Signature]*  
BUILDING INSPECTOR

SCALE 1: 200

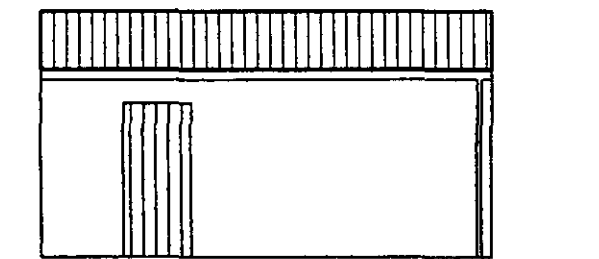
PROPOSED GARAGE

JOHN AND MICHELLE MOODIE

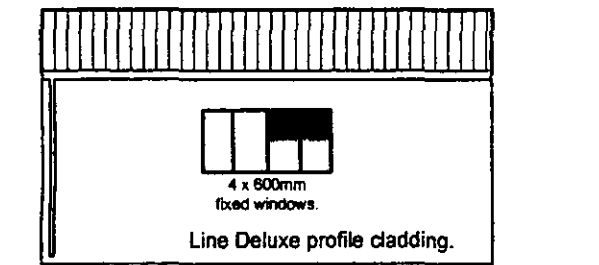
37 RANFURLY ST, DARGAVILLE



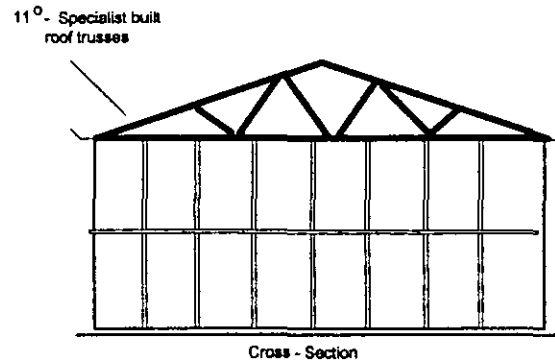
Corrugated profile roof sheeting.



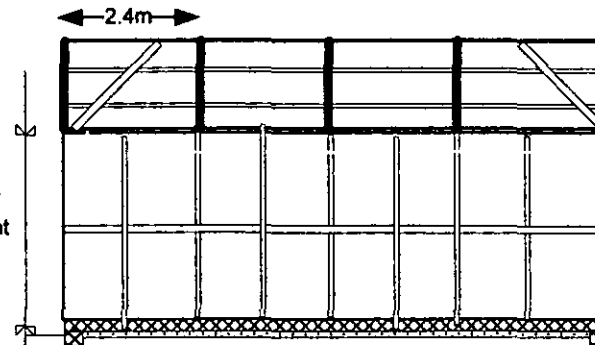
Side Elevation



Side Elevation

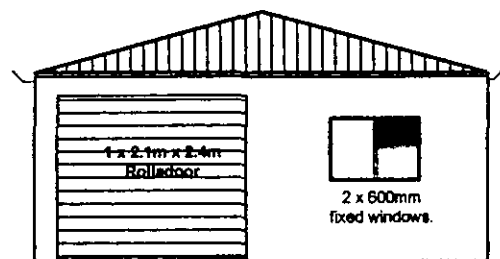


Cross - Section

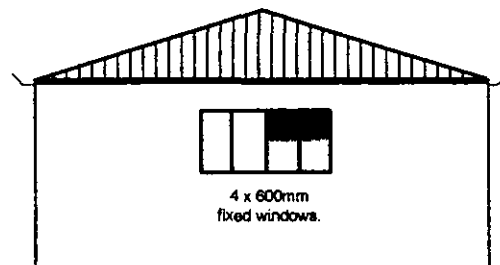


Longitudinal - Section

100mm gde 17.5mpa concrete on hardfill base. See standard garage foundation detail A



Front Elevation



Rear Elevation

300 mm



**Proposed 6m x 6m  
"Thrifty" Garage for  
John & Michelle Moodie  
37 Ranfurly Street  
Dargaville**

**SPECIFICATION FOR IDEAL  
THRIFTY BUILDINGS**

**Foundation:**

Type A Standard  
B,C,D,E = (All engineered design)  
Refer Master Design Booklet and attached Producer Statement.  
Concrete Floor 100mm thick 17.5 MPA  
Polythene / 668 Mesh.  
Steel reinforcing refer foundation detail.  
DPC to underside of bottom plate .

**Timber Frame:**

90 x 45 MSG8 - High Wind  
Laser frame studs @ 1.2m crs  
One row of nogs at mid-height

**Trusses - Pryda nail plate by  
Ideal Garages Ltd.**

Truss crs - 2.4m max, refer Pryda  
Truss design summary  
Purlins - 90 x 45 MSG8 Laserframe @  
1.0m crs

**Structural connections: refer master design  
booklet.**

**Weatherboard cladding:**

0.4 BMT Endura Colorsteel.

**Roofing:**

0.4BMT Endura Colorsteel.

**Building paper to roof - selected**

"Thermakraft" brand Breather Type.

**Ridging - Flashguard**

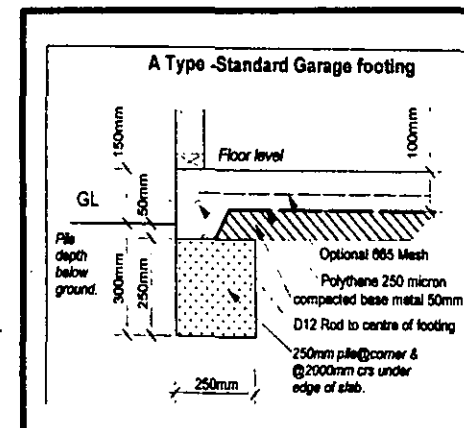
Barges - Rollformed - swaged

Gutters - Rollformed - swaged

**Gable cladding - Vertical Batten**

**Timber Treatment Levels:**

Complies with NZS 3502 : 2003  
Roof Framing & Trusses - kiln dried  
radiata pine.  
Timber Framing - kiln dried radiata pine  
as building is an unlined structure.





P.I.M. No.....  
Building Regulation Clause(s) .....

## PRODUCER STATEMENT – PS1 – DESIGN

(Guidance notes on the use of this form are printed on the reverse side)

ISSUED BY: ..... PAUL WILLIAMS .....  
(Suitably qualified Design Professional)

TO: ..... IDEAL GARAGES LTD .....  
(Owner)

TO BE SUPPLIED TO: .....  
(Territorial Authority)

IN RESPECT OF: ..... STANDARD IDEAL THRIFTY GARAGES .....  
(Description of Building Work)

AT: .....  
(Address)

LOT ..... DP ..... SO .....  
..... EDEN CONSULTANTS LLTD ..... has been engaged by ..... IDEAL GARAGES LTD .....  
(Design Firm) (Owner/Developer/Contractor)

to provide ..... DESIGN ..... services in respect of the  
(Extent of Engagement)

requirements of Clause(s) ..... B1 ..... of the Building Regulations 1992 for

☐ All

☐ Part only as specified

of the building work. The design has been prepared in accordance with ..... NZS4203:1992 ..... NZS3603:1993 .....  
(verification method(s)/acceptable solutions(s))

(respectively) of the approved documents issued by the Building Industry Authority and the work is described on

..... EDEN CONSULTANTS LTD ..... drawings titled STANDARD IDEAL  
(Design Firm)

and numbered ..... 04/491 ..... and the specification and other documents according to which the  
building is proposed to be constructed.

As an independent design professional covered by a current policy of Professional Indemnity Insurance to a minimum value of \$200,000. I BELIEVE ON REASONABLE GROUNDS that subject to:

(i) the site verification of the following design assumptions .....

and (ii) all proprietary products meeting the performance specification requirements, the drawings, specifications, and other documents according to which the building is proposed to be constructed comply with the relevant provisions of the building code.

.....  
(Signature suitably qualified Design Professional)

Date ..... OCT 04 .....

..... BE MIPENZ .....  
(Professional Qualifications)

Member

ACENZ ☐

IPENZ ☒

NZIA ☐

.....  
(Address)

—This form to accompany Form 3 of the Building Regulations 1992 for the application of a Building Consent. —



## Risk Matrix Assessment

WALL NUMBER	Risk severity								Subtotals for each risk factor
	LOW	score	MEDIUM	score	HIGH	score	VERY HIGH	score	
Risk factor									
Wind zone ( per NZS 3604)	0		0		1	1	2		1
Number of storeys	0	0	1		2		4		0
Roof / wall junctions	0		1	1	3		5		1
Eave width	0		1	1	2		5		1
Envelope complexity	0	0	1		3		6		0
Decks	0	0	2		4		6		0
Total risk score:									3

WALL NUMBER	Risk severity								Subtotals for each risk factor
	LOW	score	MEDIUM	score	HIGH	score	VERY HIGH	score	
Risk factor									
Wind zone ( per NZS 3604)	0		0		1	1	2		1
Number of storeys	0	0	1		2		4		0
Roof / wall junctions	0		1	1	3		5		1
Eave width	0		1		2		5	5	5
Envelope complexity	0	0	1		3		6		
Decks	0	0	2		4		6		
Total risk score:									7

WALL NUMBER	Risk severity								Subtotals for each risk factor
	LOW	score	MEDIUM	score	HIGH	score	VERY HIGH	score	
Risk factor									
Wind zone ( per NZS 3604)	0		0		1	1	2		1
Number of storeys	0	0	1		2		4		0
Roof / wall junctions	0		1	1	3		5		1
Eave width	0		1	1	2		5		1
Envelope complexity	0	0	1		3		6		0
Decks	0	0	2		4		6		0
Total risk score:									3

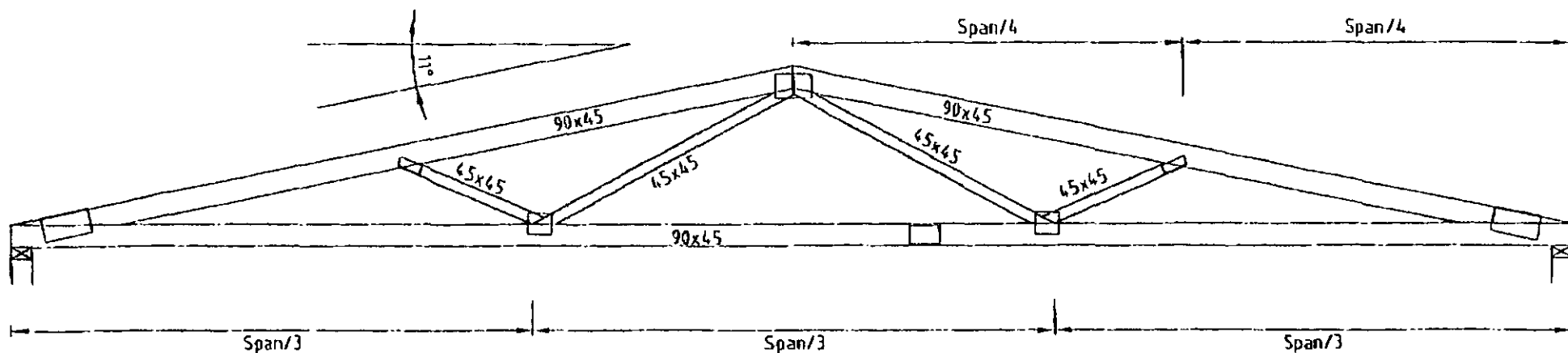
WALL NUMBER	Risk severity								Subtotals for each risk factor
	LOW	score	MEDIUM	score	HIGH	score	VERY HIGH	score	
Risk factor									
Wind zone ( per NZS 3604)	0		0		1	1	2		1
Number of storeys	0	0	1		2		4		0
Roof / wall junctions	0		1	1	3		5		1
Eave width	0		1		2		5	5	5
Envelope complexity	0	0	1		3		6		0
Decks	0	0	2		4		6		0
Total risk score:									7

T-286 P.001/001 F-789

464 8 5252357

PRUMFIDIAL GARAGES LTD

11:23AM 10/07/2005



Web Profile 'A' Truss

4.2m - 7.2m Spans

	TRUSS SPAN	4.2m	4.8m	5.4m	6.0m	6.6m	7.2m
MEDIUM WIND	Bracing Spacing	2100 Span/2	1600 Span/3	1800 Span/3	1500 Span/4	1650 Span/4	1800 Span/4
	Truss Spacing	2400	2400	2400	2400	2400	2400
HIGH WIND	Bracing Spacing	2100 Span/2	1600 Span/3	1350 Span/4	1500 Span/4	1100 Span/6	1200 Span/6
	Truss Spacing	2400	2400	2400	2400	2400	2400
VERY HIGH WIND	Bracing Spacing	2100 Span/2	1600 Span/3	1350 Span/4	1000 Span/6	1100 Span/6	1200 Span/6
	Truss Spacing	1800	2400	2400	2400	2400	1800
0.5kPa SNOW	Bracing Spacing	2100 Span/2	1600 Span/3	1800 Span/3	2000 Span/3	1650 Span/4	1800 Span/4
	Truss Spacing	1800	2400	2400	1200	1800	1800

Bottom Chord Bracing Table

Project Name:	Rev. A	Amendment: Preliminary	Designed for: IDEAL GARAGES	Project Number:
Client: Ideal Garages			Designed by: MBI	Date: Jan 2005
Standard Designs			Drawn by: MBI	Scale: NTS
'Pitch/45mm Timber/MSG12 & MSG8			Checked by: AvB	
Web Pattern 'A'				
Pryda (NZ), 64A Diana Drive, Glenfield, Auckland Ph.(09) 444 4122 Fax (09) 444 0199 e-mail: andrew@pryda.co.nz				

**pryda**

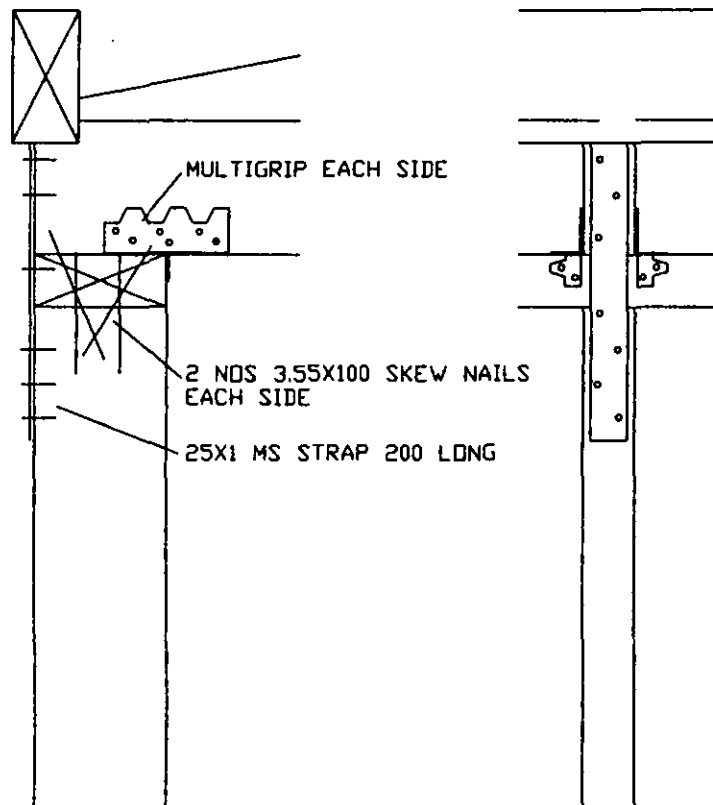
A Division of ITW New Zealand Ltd

28/02/2005

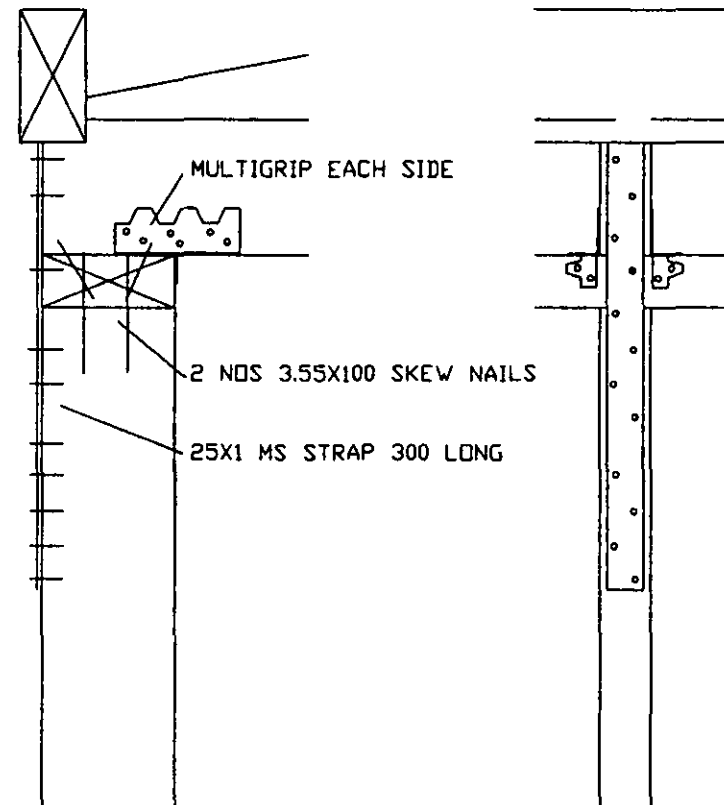
4smw2.4m

Ideal Thrifty Garages												
Four Sided												
Low & Medium Wind												
2.4m stud												
	Minimum wall brace length (m)											
	End walls					Side walls						
	Nail & Rivet centres					Nail & Rivet centres						
	100	200	300	180	360	100	200	300	180	360	Stud Size	
Singles												
Length x Width												
5.4x3	1.2	1.2	2.4	1.2	2.4	1.2	1.2	1.2	1.2	1.2	90x35	
5.4x3.6	1.2	1.2	2.4	1.2	2.4	1.2	1.2	1.2	1.2	2.4	90x35	
6x3	1.2	1.2	2.4	1.2	2.4	1.2	1.2	1.2	1.2	1.2	90x35	
6x3.6	1.2	1.2	2.4	1.2	2.4	1.2	1.2	1.2	1.2	2.4	90x35	
7.2x3	1.2	1.2	2.4	1.2	2.4	1.2	1.2	1.2	1.2	1.2	90x35	
5.4x4.2	1.2	1.2	2.4	1.2	2.4	1.2	1.2	2.4	1.2	2.4	90x35	
5.4x4.8	1.2	1.2	2.4	1.2	2.4	1.2	1.2	2.4	1.2	2.4	90x35	
6x4.2	1.2	1.2	2.4	1.2	2.4	1.2	1.2	2.4	1.2	2.4	90x35	
6x4.8	1.2	1.2	2.4	1.2	2.4	1.2	1.2	2.4	1.2	2.4	90x35	
7.2x4.2	1.2	2.4	2.4	2.4	2.4	1.2	1.2	1.2	1.2	2.4	90x35	
7.2x4.8	1.2	2.4	2.4	2.4	2.4	1.2	1.2	2.4	1.2	2.4	90x35	
Doubles												
Length x Width												
5.4x5.4	1.2	1.2	2.4	1.2	2.4	1.2	1.2	2.4	1.2	2.4	90x35	
6x6	1.2	1.2	2.4	1.2	2.4	1.2	2.4	2.4	1.2	2.4	90x35	
7.2x6	1.2	2.4	2.4	1.2	3.6	1.2	2.4	2.4	1.2	2.4	90x35	
7.8x6	1.2	2.4	2.4	2.4	3.6	1.2	2.4	2.4	2.4	2.4	90x35	
9x6	1.2	2.4	2.4	3.6	3.6	1.2	2.4	2.4	1.2	2.4	90x35	
6x7.2	1.2	1.2	2.4	1.2	2.4	1.2	2.4	2.4	2.4	3.6	90x35	
7.2x7.2	1.2	2.4	2.4	2.4	3.6	1.2	2.4	2.4	2.4	3.6	90x35	
9x7.2	1.2	2.4	2.4	3.6	3.6	1.2	2.4	2.4	2.4	3.6	90x35	

SHEET 1 OF 7



LOW & MEDIUM WIND



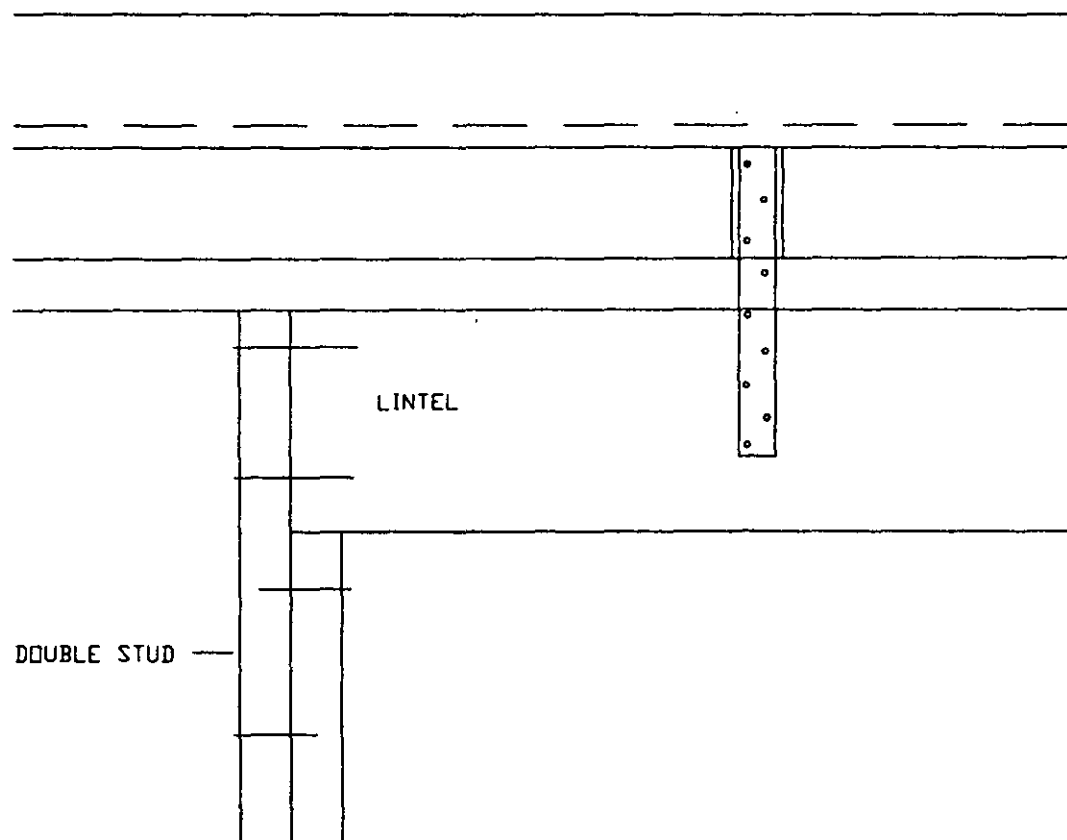
HIGH WIND

TRUSS TO TOP PLATE FIXING DETAILS  
Scale 1:5

STANDARD THRIFTY IDEAL GARAGES

EDEN CONSULTANTS LTD  
PO BOX 25-618 ST HELIERS  
PH/FAX 09-630 6908  
JOB NOS 04/491  
DATE OCT 04  
DRAWN PCW

SHEET 2 OF 7



LINTEL	MAX SPAN
2/EX 150X50	2.6M
2/EX 200X50	3.4M
2/EX 250X50	4.2M
2/EX 300X50	5.0M

LINTEL DETAILS  
Scale 1:5

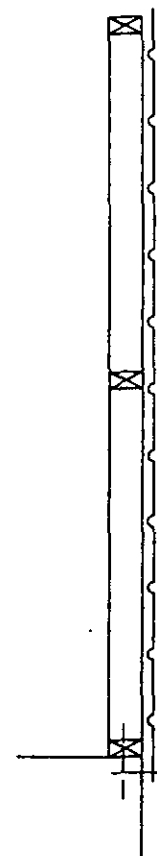
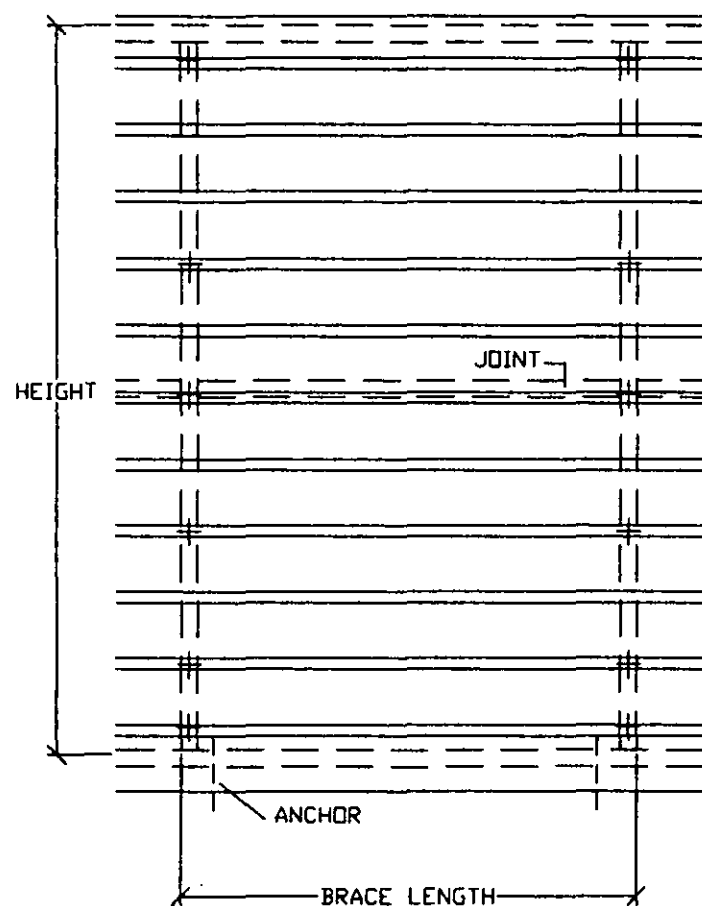
STANDARD THRIFTY IDEAL GARAGES

EDEN CONSULTANTS LTD  
PO BOX 25-618 ST HELIERS  
PH/FAX 09-630 6908  
JOB NOS 04/491  
DATE OCT 04  
DRAWN PCW

SHEET 4 OF 7

# NOTES

- 1) 2400X1075 SHEETS 180 WIDE 'RUSTICATED' WEATHERBOARD SHEETS OVERLAPPED AT JOINTS. 0.4MM BMT COLORSTEEL G2 FIX TO STUDS ONLY WITH 40X2.5MM FH NAILS AT CRS SHOWN IN BRACING TABLES
- 2) ALL TIMBER FRAMING MSG8
- 3) FOR BRACED PANELS USE 3GX25 TAPPETS INSTALLED AT 2 X NAIL CRS ALONG LOWEST WEATHERBOARD TO CONCRETE FOUNDATION

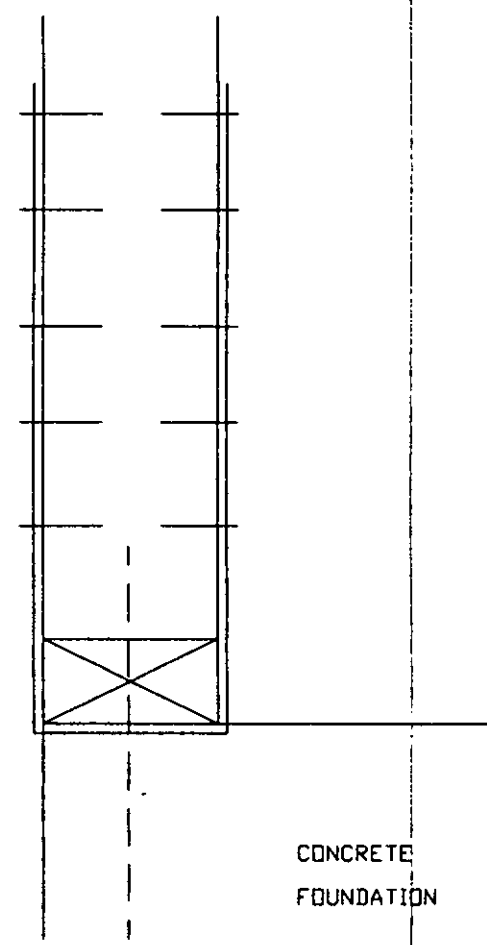
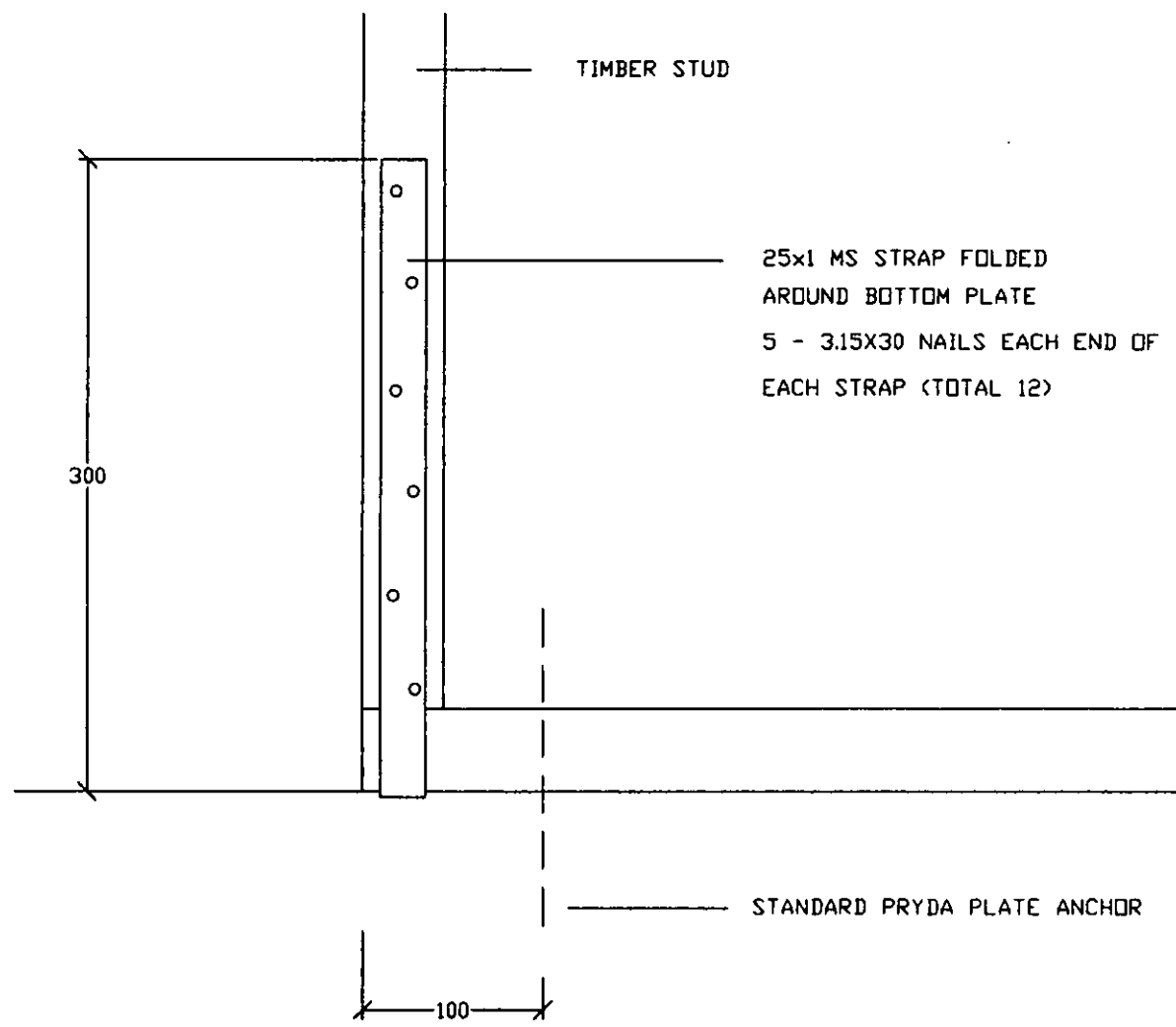


DELUX CLADDING WALL BRACE PANEL  
Scale 1:20

STANDARD THRIFTY IDEAL GARAGES

EDEN CONSULTANTS LTD  
PO BOX 25-18 ST HELIERS  
PH/FAX 09-630 6908  
JOB NOS 04/491  
DATE OCT 04  
DRAWN PCW

SHEET 5 OF 7



WALL BRACE ANCHOR DETAIL Scale 1:10

STANDARD THRIFTY IDEAL GARAGES

EDEN CONSULTANTS LTD  
PO BOX 25-618 ST HELIERS  
PH&FX 6306908  
JOB NOS 04/491  
DATE OCT 04  
DRAWN PCV



## Eden Consultants Limited

CONSULTING ENGINEERS  
CIVIL - STRUCTURAL - GEOTECHNICAL

P.O. Box 25618, St Heliers. 418 MT Eden Rd Mt Eden Ph/Fax: 6306908 Ph 6306978

DATE OCT 04

JOB # 04/491

PAGE

JOB DESCRIPTION

STANDARD IDEAL  
THRIFTY GARAGES

## CALCULATION SHEET

① Loadsa) Gravity

$$G(\text{roof}) = 0.15 \text{ kPa}$$

$$G_u(\text{roof}) = 0.25 \text{ kPa}$$

$$G_c(\text{roof}) = 1 \text{ kN}$$

b) Snow

$$S_g = 0.625 \text{ kPa}$$

Altitude:

150m Zone 4 - Canterbury

250m Zone 5 - Southland

450m Zone 2 &amp; 3 - West Coast &amp; Nelson

600m Zone 1 - South of NZ

 $C_e = 0.8$  Cat V building

$$C_e = \frac{(70 - 20)}{50} \sqrt{\frac{V(S.S.)}{1}} = 1$$

$$C_r = 1$$

$$\Rightarrow S = 0.8 + 1 \times 1 \times 0.625 = 1.5 \text{ kPa}$$

c) Wind

$$V_z(2m) \text{ NZ 3604} = 37 \text{ m/s}$$

$$M(2, \text{cat}) \text{ NZ 3604} = M(2, 2) = 0.98$$

$$M(2, \text{cat}) \text{ Thr. } A_g = M(3, 2) = 0.25$$

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JOB 104/491

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JOB DESCRIPTION

STANDARD IDEAL  
THRIFTY GARAGES

## CALCULATION SHEET

$$M_r \text{ NBS } 3604 = 1$$

$$M_r \text{ Thrift } = .9$$

$$\Rightarrow V_2 (LM) \text{ Thrift } = 37 \text{ m/s} \times \frac{.85}{.96} \times \frac{.9}{1} = 30 \text{ m/s}$$

$$q (LM) = .6 \times 30^2 \times 10^{-3} = .54 \text{ kPa}$$

$$V_2 (H) = \text{NBS } 3604 = 44 \text{ m/s}$$

$$V_2 (H) \text{ Thrift } = 44 \times \frac{.85}{.96} \times \frac{.9}{1} = 34 \text{ m/s}$$

$$q (H) = .6 \times 34^2 \times 10^{-3} = .69 \text{ kPa}$$

## ② ULS Load combinations

### a) Roof

$$1.2G + 1.6Q_u = 1.2 \times .15 + 1.6 \times .25 = .58 \text{ kPa}$$

$$1.2G + 1.2S = .78 \text{ kPa}$$

$$.9G + W_u (LM) = .9 \times .15 - (.9 + 3) \times .54 = -.51 \text{ kPa}$$

$$.9G + W_u (H) = .9 \times .15 - (.9 + 3) \times .69 = -.69 \text{ kPa}$$

### b) Gross buil.d.g lateral pressures

$$W_u (LM) = (.7 + .5) \times .54 = .65 \text{ kPa}$$

$$W_u (H) = (.7 + .5) \times .69 = .83 \text{ kPa}$$

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JOB DESCRIPTION

STANDARD IDEAL  
THRIFTY GARAGES

## CALCULATION SHEET

c/ Not pressured on walls

$$W_u(LM) = (1.7 + 3) \times .54 = .54 \text{ kPa}$$

$$W_u(H) = (1.7 + 3) \times .69 = .69 \text{ kPa}$$

③ Purlins

90x45 MSG 8

$L_u = 2.35 \text{ m}$  for trusses @ 2.4m max cs

$$F_u \text{ cs } (1.25 + 1.25) = .78 \text{ kPa}$$

$$W_u = .78 \text{ kPa} \times 1 = .78 \text{ kN/m}$$

$$M^* = .78 \times 2.35^2 / 8 = .54 \text{ kNm}$$

$$\phi M = .8 \times 1 \times 14 \times 60.75 \times 10^{-3} = .54 \text{ kNm}$$

Check  $0.96 + W_u(H)$

$$W_u = .69 \text{ kPa} \times 1$$

Use 90x45 MSG 8 @ 1m max cs

④ Studs

90x45 MSG 8  
1.2m cs 1 max 2.4m

$$F_u W^* (H) = .83 \text{ kPa} \times 1.2 = 1 \text{ kN/m}$$

$$M^* = 1 \times 2.4^2 / 8 = .72 \text{ kNm}$$

$$\phi M = .8 \times 1 \times 14 \times 60.75 \times 10^{-3} = .72 \text{ kNm}$$

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THRIFTY GARAGES

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## CALCULATION SHEET

For  $W^*(H)$  2/m std. 90x35

$$M^* = 1 \times 2.1^2 / 8 = .54 \text{ kNm}$$

$$\phi M = .8 \times 1 + 14 \times 47 \times 10^{-3} = .54 \text{ kNm}$$

For  $W^*(Lm)$  2.4 std

$$W^* = .56 \times 12 = .65 \text{ kN/m}$$

$$M^* = .65 \times 2.4^2 / 8 = .47 \text{ kNm} \text{ o.k.}$$

Use 90x35 for all w.n. / o.w.

cases except for High w.n. 24 -

std vs 90x35.

## ③ Links

for 2.2m max. truss span

$$W_n (Lm) = .28 \text{ kN} \times 2.2 / 2 = 2.8 \text{ kN/m}$$

$$W_n \text{ SLS} = .3 \times 2.2 / 2 = 1.1 \text{ kN/m}$$

For 2/150x50 MSG8

$$l = 2.2 \text{ m} \quad M^* = 2.8 \times 2.2^2 / 8 = 2.4 \text{ kNm}$$

$$\phi M = .8 + .8 \times 14 \times 290 \times 10^{-3} = 2.63 \text{ kNm}$$

$$\text{SLS } \delta = \frac{5}{384} \times \frac{1.1 \times 2.2^4}{8000 \times 2638} = .001 \text{ m o.k.}$$

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JOB DESCRIPTION

STANDARD IDEAL  
THRIFTY GARAGES

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## CALCULATION SHEET

For 2/200x50 MS48

For  $l = 3.4m$

$$M^* = 2.8 \times 3.4^2 / 8 = 4.17m$$

$$\phi M = 8 \times 8 \times 14 \times 513 \times 10^{-3} = 4.6kNm$$

$$SLS \quad \delta = \frac{5}{384} \times 1.1 \times 3.4^4 \times 10^5 = 805mm$$

For 2/250x50 MS48

For  $l = 4.2m$

$$M^* = 2.8 \times 4.2^2 / 8 = 6.2kNm$$

$$\phi M = 8 \times 8 \times 14 \times 794 \times 10^{-3} = 7.1kNm$$

$$SLS \quad \delta = \frac{5}{384} \times 1.1 \times 4.2^4 \times 10^5 = 1006mm$$

For 2/300x50 MS48

For  $l = 5m$

$$M^* = 2.8 \times 5^2 / 8 = 8.75kNm$$

$$\phi M = 8 \times 8 \times 14 \times 1176 \times 10^{-3} = 10.5kNm$$

$$SLS \quad \delta = \frac{5}{384} \times 1.1 \times 5^4 \times 10^5 = 1007mm$$

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JOB DESCRIPTION

STANDARD IDEAL  
THIRTY GALAGES

## CALCULATION SHEET

⑥ Foundations

For 7.2m roof span

loads 1.2a + 1.2s

$$\text{roof } 7.8 \text{ kPa} \times 7.2/2 = 2.81 \text{ kN/m}$$

$$\text{wall } 1.2 \times 1.5 \times 2.4 = 4.3 \text{ kN/m}$$

$$\underline{3.2 \text{ kN/m}}$$

250  $\phi$  barrel OK 250 x 250

p.c.s @ 2m max c/s

$$P^* = 3.2 \times 2 = 6.4 \text{ kN}$$

For  $C_u = 50 \text{ kPa}$  soil

$$\phi P = .576 + 50 \times \pi \times .25^2/4 = 7.4 \text{ kN}$$

Use 250  $\phi$  OK 250 x 250

p.c.s @ 2m max c/s

Depth to be determined by soil conditions

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STANDARD

IDEAL

THIRTY

GALAPES

## CALCULATION SHEET

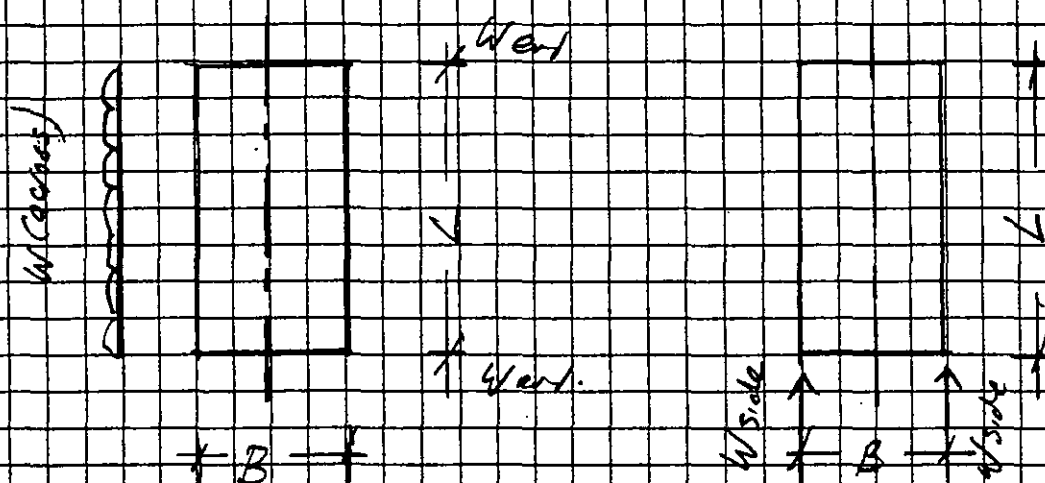
5) Wall bracing

Excel spreadsheets

a) Four sided

W (along)

W (across)



Sta h h

Gross wind pressure  $k/g$

$$W_{across} = k/g \frac{h}{2} L$$

$$W_{end} = \frac{W_{across}}{2}$$

$$W_{across} = \frac{2}{k/g} [h + (B/4 \tan 11^\circ)] B$$

$$W_{side} = \frac{W_{along}}{2}$$

For nailed deck or fixed head cladding

$$40 \times 2.5 \text{ of nails } \phi S_n = 0.4 \times (1 + 1.25 \times 0.07) = 0.407 \text{ kN}$$

$$\text{Cladding brace length} > \frac{W_{end} \text{ or } W_{side}}{0.407} \text{ Min } 12m$$

$$\text{Anchor } f_e = W_{end} h$$

(Sheet brace length = 1)

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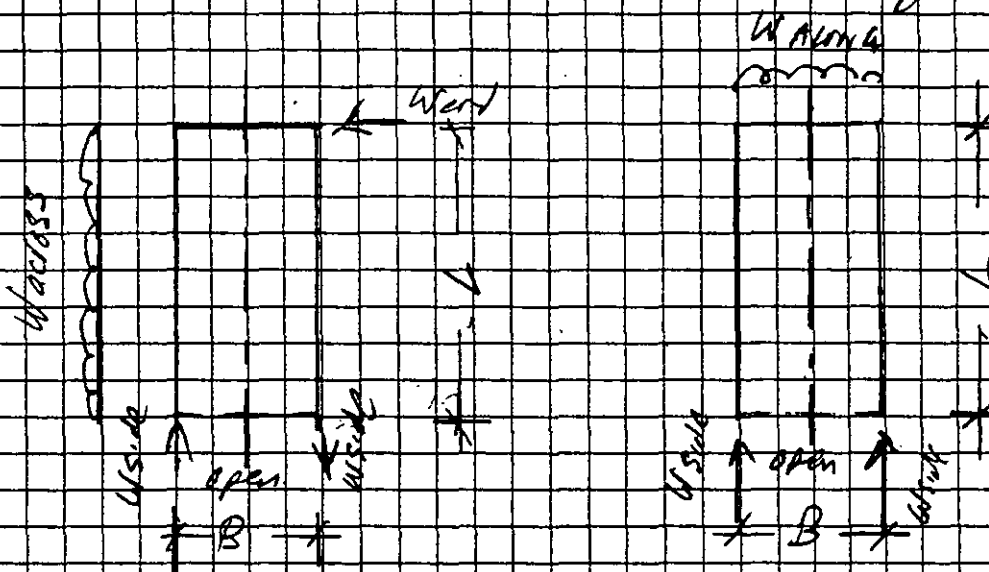
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JOB DESCRIPTION

STANDARD IDEAL  
THRIFTY GARAGES

## CALCULATION SHEET

6/ Three sided - front open only



Stud ht h

Gross wind pressure  $U_g$

$$W_{across} = \frac{U_g h L}{2}$$

$$W_{end} = \frac{U_g h L}{2}$$

$$W_{side} = \frac{U_g h L^2}{4B}$$

$$W_{along} = \frac{U_g [h + B/4 \tan 11^\circ] B}{2}$$

$$W_{side} = W_{along}/2$$

For end walls

Steel beam length  $> \frac{W_{end}}{0.07} + W_{end} \text{ min } 12m$

$$Anchor die = \frac{W_{end} h}{(\text{Steel beam length} + 1)}$$

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